PPSSSH-10 - 5-9 Ozone Street, Cronulla

MA19/0303

ASSESSMENT REPORT APPENDICES

Appendix A Draft Conditions of Consent

B SSPP Record of Deferral – 21 November 2018

C ADG Compliance Table

D SSDCP 2015 Compliance Table

E Architectural Plans

DRAFT CONDITIONS OF CONSENT

MODIFIED DEVELOPMENT APPLICATION NO. 19/0303

1. Approved Plans and Documents

The development must be undertaken substantially in accordance with the BASIX certificate, details and specifications set out on the following approved plans:

Plan Number	Reference	Prepared by	Date	
S4.56_DA000	Cover Sheet	PBD Architects	27 March 2020	
Revision E				
DA03.02 Revision N	Basement 03	Vic Lake	12 February	
		Architect	2019	
S4.56_DA100	Basement 3	PBD Architects	16 April 2020	
Revision D	Plan			
DA03.03 Revision N	Basement 02	Vic Lake	12 February	
		Architect	2019	
S4.56_DA101	Basement 2	PBD Architects	16 April 2020	
Revision D	Plan			
DA03.04 Revision N	Basement 01	Vic Lake	12 February	
		Architect	2019	
S4.56_DA102	Basement 1	PBD Architects	16 April 2020	
Revision D	Plan			
DA03.05 Revision N	Ground Floor	Vic Lake	12 February	
		Architect	2019	
S4.56_DA103	Ground Floor	PBD Architects	16 April 2020	
Revision E	Plan			
DA03.06 Revision I	Level 01	Vic Lake	14 December	
		Architect	2018	
S4.56_DA104	Level 1 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.07 Revision I	Level 02	Vic Lake	14 December	
		Architect	2018	
S4.56_DA105	Level 2 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.08 Revision I	Level 03	Vic Lake	14 December	
		Architect	2018	

S4.56_DA106	Level 3 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.09 Revision I	Level 04	Vic Lake	14 December	
		Architect	2018	
S4.56_DA107	Level 4 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.10 Revision I	Level 05	Vic Lake	14 December	
		Architect	2018	
S4.56_DA108	Level 5 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.11 Revision I	Level 06	Vic Lake	14 December	
		Architect	2018	
S4.56_DA109	Level 6 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.12 Revision I	Level 07	Vic Lake	14 December	
		Architect	2018	
S4.56_DA110	Level 7 Plan	PBD Architects	16 April 2020	
Revision E				
DA03.13 Revision I	Level 08	Vic Lake	14 December	
		Architect	2018	
S4.56_DA111	Level 8 Plan	PBD Architects	16 April 2020	
Revision F				
DA03.14 Revision I	Roof Terrace	Vic Lake	14 December	
	Level	Architect	2018	
S4.56_DA112	Roof Terrace	PBD Architects	16 April 2020	
Revision D	Plan			
DA03.15 Revision I	Roof Level	Vic Lake	14 December	
		Architect	2018	
S4.56_DA113	Roof Plan	PBD Architects	18 March 2020	
Revision C				
DA04.01 Revision H	East Elevation	Vic Lake	6 November	
		Architect	2018	
S4.56_DA200	East Elevation	PBD Architects	18 March 2020	
Revision B	Ozone Street			
DA04.02 Revision H	West Elevation	Vic Lake	6 November	
		Architect	2018	
S4.56_DA202	West Elevation	PBD Architects	27 March 2020	
Revision C				

DA04.03 Revision H	North Elevation	Vic Lake	6 November	
		Architect	2018	
S4.56_DA203	North Elevation	PBD Architects	18 March 2020	
Revision B	Ocean Grove			
	Rod			
DA04.04 Revision H	South Elevation	Vic Lake	6 November	
		Architect	2018	
S4.56_DA201	South Elevation	PBD Architects	18 March 2020	
Revision B	Cecil Monroe			
	Ave			
DA04.05 Revision H	Streetscape and	Vic Lake	7 November	
	Context Analysis	Architect	2018	
DA04.06 Revision H	Streetscape and	Vic Lake	7 November	
	Context Analysis	Architect	2018	
DA05.01 Revision H	Section AA	Vic Lake	6 November	
		Architect	2018	
S4.56_DA300	Section A	PBD Architects	11 September	
Revision A			2019	
DA05.02 Revision H	sion H Section BB Vic		6 November	
		Architect	2018	
S4.56_DA301	Section B	PBD Architects	11 September	
Revision A		2019		
S4.56_DA400	Material	PBD Architects 18 March 202		
Revision C	Finishes			
S4.56_502 Revision A	Storage	PBD Architects	11 September	
	Diagram		2019	
DA05.03 Revision H	Driveway Ramp	Vic Lake	6 November	
	Section	Architect	2018	
DA05.04 Revision H	Section Detail	Vic Lake	7 November	
	Façade	Architect	2018	
DA06.01 Revision H	Adaptable and	Vic Lake	6-November	
	Livable	Architect	2018	
	Apartment Plan			
S4.56_DA600	Adaptable Unit	PBD Architects	11 September	
Revision A			2019	
S4.56_DA601	Adaptable Unit	PBD Architects	11 September	
Revision A			2019	
S4.56_DA602	Adaptable Unit	PBD Architects	11 September	
	i	i		

S4.56_DA603	Livable Unit	PBD Architects	11 September
Revision A			2019
DA06.05 Revision H	Apartment	Vic Lake	6 November
	Storage	Storage Architect	
DA06.07 Revision H	Communal Open	Vic Lake	6 November
	Storage	Architect	2018
DA06.30 Revision H	Construction	Construction Vic Lake 20 March 201	
	Management	Architect	
	Plan – Stage One		
DA06.31 Revision A	Construction	Vic Lake	20 March 2018
	Management	Architect	
	Plan – Stage Two		
DA06.32 Revision A	Construction	Vic Lake	20 March 2018
	Management	Architect	
	Plan – Stage		
	Three		
DA06.48 Revision H	Planting Pocket	Vic Lake	7 November
		Architect	2018
17A09_DA_C000	Cover Sheet,	Henry & Hymes	31 July 2018
Revision 01	Drawing		
	Schedule, Notes		
	& Locality Sketch		
17A09_DA_C100	Stormwater	Henry & Hymes	31 July 2018
Revision 01	Management		
	Plan		
17A09_DA_200	OSD Tank	Henry & Hymes	31 July 2018
Revision 01	Sections and		
	Details		
17-0679L L01	Paving and	Habit8	31 January 2019
Revision Q	Planting		
	Schedule		
17-0679L L01	Landscape Plan	Habit8	31 January 2019
	Ground Level		
	(South Western)		
17-0679L L02	Landscape Plan	Habit8	31 January 2019
Revision Q	- Ground Level		
	(North Western)		
17-0679L L03	Landscape Plan	Habit8	31 January 2019
Revision Q	- Ground Level		
	(South Eastern)		

17-0679L L04	Landscape Plan	Habit8	31 January 2019
Revision Q	_		
	Ground Level		
	(North Eastern)		
17-0679L L05	Landscape	Habit8	31 January 2019
Revision Q	Planting Plan		
	Ground Level –		
	(South Western)		
17-0679L 06	Landscape	Habit8	31 January 2019
Revision Q	Planting Plan –		
	Ground Level		
	(North Western)		
17-0679L L07	Landscape	Habit8	31 January 2019
Revision Q	Planting Plan –		
	Ground Floor		
	(South Eastern)		
17-0679L L08	Landscape	Habit8	31 January 2019
Revision Q	Planting Plan –		
	Ground Floor		
	(North Eastern)		
17-0679L L09	Landscape	Habit8	31 January 2019
Revision Q	Planting – Roof		
	Terrace		
	(Southern)		
17-0679L L10	Landscape Plan –	Habit8	31 January 2019
Revision Q	Roof Terrace		
	(Northern)		

(Modified - xxxxx)

and any details on the application form and on any supporting information received with the application except as amended by the following conditions.

Note: The following must be submitted to Sutherland Shire Council prior to the commencement of any building work.

- i) A Construction Certificate.
- ii) Notification of the appointment of a Principal Certifying Authority and a letter of acceptancefrom that Principal Certifying Authority.
- iii) Notification of the commencement of building works with a minimum of 2 days' notice of such commencement.

2. Integrated Development Approval - Requirements of WaterNSW

A. General Terms of Approval from WaterNSW

The development must be undertaken in accordance with all General Terms of Approval (GTA) from WaterNSW issued under Section 4.46 of the Environmental Planning and Assessment Act 1979 as follows:

- 1. A Water Supply Work Approval from WaterNSW must be obtained prior to commencing dewatering activity on the proposed site. Please complete an Application for approval forwater supply works, and/or water use.
- 2. An application for a Water Supply Works Approval will only be accepted upon receipt of supporting documentation, and payment of the applicable fee (see Application fees for New or amended Works and/or Use Approvals). The information required for the processing of the water supply work application may include preparation of a dewatering management plan. Please refer to checklist attached.
- 3. If approved, the Approval will be issued for a period of up to 24 months to cover the dewatering requirements during the construction phase. It will include conditions to ensure that impacts are acceptable and that adequate monitoring and reporting procedures are carried out. The Approval will be issued subject to the proponent meeting requirements of other agencies and consent authorities. For example, an authorisation by either Sydney Water or the local Council, depending where the water will be discharged. If contaminants are likely, or are found to be present in groundwater, and are being discharged to stormwater, including high salinities, a discharge licence under the Protection of the Environment Operations Act 1997 (NSW) may also be required.
- 4. WaterNSW prefers "tanking" (i.e. total water proofing below the seasonal high water table) of basement excavations, and avoids the ongoing extraction of groundwater after the initial construction phase. It is also advised to adopt measures to facilitate movement of groundwater post construction (e.g. a drainage blanket behind the water-proof membrane).
- 5. If the basement is not "tanked", the proponent will require a Water Access Licence (WAL) and need to acquire groundwater entitlements equivalent to the yearly ongoing take of groundwater. Please note: Acquiring groundwater entitlements could be difficult, and may cause delay in project completion. If a WAL is required, please complete an Application for a new water access licence with a zero share component.

A copy of the GTA and any further requirements are attached to this development consent. These requirements must be incorporated in the application for a Construction Certificate and where required by the GTAs, relevant approvals must be obtained prior to the release of the Construction Certificate.

3. Fire Hydrant Booster Radiant Heat Shield

A. Before Construction

A radiant heat shield for a required fire hydrant booster assembly is not approved by this development consent. If a fire hydrant booster assembly is required by the Building Code of Australia, a performance solution to <u>not</u> provide a radiant heat shield in accordance with the requirements of AS2419.1-2005 or AS2419.1:2017 must form part of an application for a Construction Certificate.

4. Positive Covenant over Green Wall

A. Before Occupation

Before the issue of any Occupation Certificate, a positive covenant pursuant to Section 88E of the Conveyancing Act, 1919 shall be created on the title of the allotment to ensure that the green wall on the eastern elevation of Ground floor and Level 1 (adjacent to the main building entry from Ozone Street), and the green walls within the north western Communal Open Space remain an integral component of the building for the life of the development. To this end the registered proprietor(s) of the property shall covenant with Sutherland Shire Council and its successors that the green walls shall be maintained, irrigated and (if necessary) replanted in perpetuity in accordance with Condition 24.

Ongoing maintenance of the green wall shall be undertaken in accordance with the Green Wall

Maintenance Plan required under Condition 25.

5. Public Place Environmental, Damage & Performance Security Bond

A. Before Issuing of any Construction Certificate

Prior to the issue of a Construction Certificate or the commencement of any works on site, whichever occurs first, the person acting on this consent must provide security to Sutherland Shire Council against damage that may be caused to any Council property and/or the environment as a consequence of the implementation of this consent. The security may be provided by way of a deposit with Council or a bank guarantee. A non-refundable inspection/administration fee is included in the bond value.

It is the responsibility of the person acting on this consent to notify Sutherland Shire Council of any existing damage to public areas in the vicinity of the development site by the submission of a current dilapidation report supported by photographs. This information must be submitted to Council at least 2 days prior to the commencement of works.

In the event that the dilapidation report is not submitted 2 days prior to commencement and the public area sustains damage the person acting on this consent may be held liable.

Should any public property and/or the environment sustain damage as a result of the works associated with this consent, or if the works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the damage and/or remove the risk. The costs incurred must be deducted from the bond.

The value of the bond is \$20,200.00

Note: Bond amount includes a non-refundable administration fee which must be paid separately if security is provided by way of a deposit with Council or a bank guarantee.

Use of Bank Guarantee - As bond releases may occur under different timeframes only one bond amount/bond purpose is permitted on a Bank Guarantee. Multiple bonds will require multiple bank guarantees to be lodged.

B. After Occupation

A request for release of the bond may be made to Sutherland Shire Council after all works relating to this consent have been completed. Such a request must be submitted to Council on the 'Bond Release Request Form' signed by the owner or any person entitled to act on the consent and must be accompanied by a current dilapidation report including photographs.

SECTION 94 CONTRIBUTIONS

The following dedication of land and/or monetary contributions have been levied in relation to the proposed development pursuant to Section 94 of the Environmental Planning and Assessment Act 1979.

6. S94 2016 Contribution Plan - Cronulla Centre Precinct

A. Before Construction

Pursuant to Section 94 of the Environmental Planning and Assessment Act 1979 and Sutherland Shire Council Section 94 Plan 2016, a <u>total</u> monetary contribution of \$440,000.00 560,000.00 must be paid to Sutherland Shire Council toward the cost of regional and local public domain works contained in the Works Programme of the Contributions Plan.

This contribution has been assessed and calculated in accordance with the Sutherland Shire 2016 S94 Contribution Plan on the basis of 32 proposed Residential Flat Units, Apartments etc, with a concession for 10 existing Residential Flat Units, Apartments etc.

Infrastructure & Facilities	Contribution Required
Local open space and public domain works	\$ 346,390.40
	434,401.10
Regional open space	\$ 93,609.60
	125,598.90

Payment must be made prior to the issue of the Construction Certificate.

(Modified - xxxxx)

7. Approvals Required under Roads Act or Local Government Act

A. Before Construction

No occupation or works are to be carried out on public land (including a road or footpath) or access provided over a public reserve adjacent to the development site without approval being obtained from Sutherland Shire Council and the necessary fee paid under the Roads Act 1993 and/or the Local Government Act 1993. These approvals must be to the satisfaction of Council for the required development works and may include but are not limited to the following:

- Frontage works including construction of a driveway, footpath, etc.
- Road openings and restoration to provide services to the development.
- Work Zones and hoardings.
- Skip bins.
- Shoring / anchoring.
- Standing of cranes, concrete pumps, etc.

Note: All Plans and Permits are required to be on site, at all times and may be requested by Council officers at any time.

Note: Approval under the Roads Act or Local Government Act cannot be granted by a Principal Certifying Authority or by a Private Certifier. Failure to obtain approval may result in fines or prosecution.

8. Design and Construction of Works in Road Reserve (Council Design)

A. Design

Council has determined that the proposed development generates a need for the following works to be undertaken by the applicant in the road reserve. To this end a Detailed Frontage Works application under the Roads Act 1993 must be submitted to Sutherland Shire Council, prior to the release of the Construction Certificate. The form is available on Council's website. A fee applies for the relevant inspections, assessment, coordination, creation of design brief and the issue of permits providing consent to undertake frontage works. The design will be quoted separately by Council's Design Services unit.

This design will generally comply with the approved architectural design drawings and the current website version of Council's Public Domain Design Manual (PDDM) and Public Domain Technical Manual (PDTM) except where modified by/or addressing the following:

- i) <u>Property alignment/ boundary levels</u> establish the property alignment/ boundary levels and crossing profiles.
- ii) <u>Grades</u> regrade footpath verge to final design levels including topsoil, turf and all associated soft landscaping.
- iii) <u>Vehicle Crossings</u> construct a vehicle crossing on Cecil Monroe Avenue measuring 8.5m wide.
- iv) Redundant Laybacks and Crossings remove redundant laybacks and vehicle crossings and replace with kerb and gutter (including associated road reconstruction works).
- v) <u>Stormwater Connection</u> construct and upgrade existing stormwater infrastructure as required to facilitate drainage for the proposed development.
- vi) <u>Footpath</u> install new footpath pavement along all frontages of the site including the adjustment of kerb and gutter and road pavement as required.
- vii) Parking Bays adjust parking bays as required by Council.
- viii) <u>Infrastructure Transitions</u> ensure there are adequate transitions between newly constructed and existing infrastructure as required.

- ix) Road Pavement construct road pavement as required.
- x) <u>Kerb and Gutter</u> reconstruct kerb and gutter as required including associated road reconstruction.
- xi) <u>Street Signage & Line Marking</u> alter existing and/or install new street signage and line marking as required.
- xii) Trees remove and replace street trees as required by Council.
- xiii) <u>Undergrounding</u> provide replacement of existing local distribution power lines and other overhead utilities with subsurface utilities or with insulated aerial bundles cables (ABC) as required.
- xiv) <u>Street Lighting</u> install new street lighting in conjunction with the undergrounding of local distribution power lines and other utilities as required.
- xv) <u>Utility Services</u> adjust public services infrastructure as required.
- NBN the Australian Government has issued a new policy on the provision of telecommunication infrastructure in new developments. The policy is effective from 1 March 2015. Developers are responsible for providing telecommunications infrastructure in their developments. To provide this infrastructure, developers need to contract a carrier to install and operate a telecommunications network.

NBN is the IPOLR (infrastructure provider of last resort) in developments of 100 lots or more within its fixed-line footprint and in new development where its fixed-line network is available, or the NBN rollout has been announced (www. nbnco .com.au/learn-about-the-nbn/rollout- map.html).

If you use NBN, you will need to provide six months' notice before your network needs to be available.

Evidence of the lodgement of this application must be provided to the PCA prior to the release of the Construction Certificate

B. Before Construction

Prior to the release of the Construction Certificate property alignment levels and crossing profiles must be obtained from Sutherland Shire Council.

C. Before Occupation

Prior to the occupation of the building or the issue of an Occupation/Subdivision Certificate the following certification must be provided to Sutherland Shire Council:

i) The supervising engineer must certify that the road frontage works were constructed in accordance with the development consent and associated approval under the Roads Act 1993 including the approved drawings and specification.

9. Construction Environmental Management Plan

A. Design

A Construction Environmental Management Plan (CEMP) must be prepared by anappropriately qualified, experienced and certified environmental practitioner to manage and control all aspects of environmental site management throughout development.

- (i) The CEMP must address, but not be limited to, the following:
 - a. Description of works.
 - b. Details of all contractors involved with the project.
 - c. Environmental awareness and training of contractors.
 - d. Compliance with legislation and regulations.
 - e. Measures to prevent noise, water, air and land pollution.
 - f. Safe access to and from the site during construction.
 - g. Safety and security of work site, road and footpath area; including details of any proposed fencing, signage, hoarding and lighting, as required.
 - h. Method of loading and unloading excavation machines, construction materials etc.
 - Details of how and where construction material and any waste materials will be appropriately managed, stored and disposed of.
 - j. Details of any fuel storage and management.
 - k. Detailed erosion and sediment control measures including methods to preventmaterial impacting adjoining waterways, roadways and neighbouring land.
 - I. Protection of existing trees and vegetation.
 - m. Unexpected Finds Protocol i.e. the address unexpected finds of soil and/or groundwater contamination.
 - n. Work, Health & Safety requirements.
 - o. Contingency and emergency response plans.
 - p. Inclusion of a detailed site plans.

q. The largest sized vehicle permitted to service the property for the purposes of construction and deliveries is limited to a Heavy Ridged Vehicle "HRV" sized truck as defined in AS2890.2.

B. Prior to Commencement and Issue of Construction Certificate

The CEMP must be included in the documentation for any construction certificate.

C. During Works

The site management measures outlined above must remain in place and be maintained throughout the period of works until the site is stabilised and landscaped.

10. Pre-commencement Inspection

A. Before Works

A Pre-commencement Inspection/meeting is to be convened by the Applicant on-site a minimum 5 days prior to any demolition and/or construction activity and between the hours of 8.00 am and 4.30 pm Monday to Friday. The meeting must be attended by a representative of Council's Public Domain Assets Branch, the Principal Certifying Authority, the builder/site manager of the building/civil construction company and where necessary the supervising engineer. The attendance of the owner is required when it is intended to use more than one builder/principal contractor throughout the course of construction.

The purpose of the meeting is to:

- i) Ensure safe passage for pedestrians, Work and Hoarded Zones are maintained in accordance with Council requirements.
- ii) Check the installation and adequacy of all traffic management devices.
- iii) Confirm that the supervising engineer has a copy of Council's Specification for Civil Works Associated with Subdivisions and Developments.

Note: An inspection fee must be paid to Council prior to the lodgement of the Notice of Commencement. Please refer to Sutherland Shire Councils Adopted Schedule of Fees and Charges.

11. Supervising Engineer

A. Before Construction

The applicant must engage an Accredited Certifier in civil engineering works or a Chartered Civil Engineer to supervise construction of any:

- i) Road frontage works.
- ii) Construction / installation of stormwater drainage.
- iii) Rainwater harvesting and reuse.
- iv) All other works that form part of a subdivision.

The PCA must be informed of the supervising engineer's name and contact details, in writing, prior to the commencement of any construction works.

B. During Construction

The engineer must supervise the works as listed above to ensure compliance with:

- i) All relevant conditions of development consent.
- ii) Any Consent issued under the Roads Act for this development.

C. Before Occupation

The supervising engineer must certify the works required in A. above were undertaken and completed in accordance with the requirements of this Development Consent and to their satisfaction.

12. Internal Driveway, Parking and Manoeuvring

A. Design

The internal driveway profile, parking and manoeuvring areas must be designed in accordance with the approved architectural plans except where modified by the following:

- i) Align with Access and Alignment levels issued by Council's Public Domain Unit.
- ii) The convex mirror located on the caretakers office wall of basement 01 is to be deleted Traffic light system are to be provided instead with the priority given to entering traffic
- iii) A 1m x 1m splayed corner must be provided on the eastern wall of the basement ramp within Basement 01 reducing the size of the waste room to facilitate suitable manoeuvring to and from the ramp.
- iv) The internal driveway must be paved or concreted and must be finished in materials other than plain or exposed aggregate concrete.
- v) Provide adequate sight distance for the safety of pedestrians using the footpath area.
- vi) Provide a maximum grade of 5% for the first 13 metres inside the property boundary.

- vii) Comply with AS2890.1(2004) user class 1A, in relation to the design of vehicular access, parking and general manoeuvring for the B85 vehicle.
- viii) Comply with AS2890.2(2002) in relation to the design of vehicular access, parking and general manoeuvring for the HRV vehicle.
 - ix) The maximum longitudinal grade of the driveway must not exceed 25%.

B. Construction

Certification from an appropriately qualified engineer to the effect that the design requirements of A. above have been met must accompany the Construction Certificate.

C. Occupation

Prior to the occupation of the development or the issue of any occupation certificate a suitably qualified engineer must certify that the works required in A. above were undertaken and completed to their satisfaction and in accordance with the requirements of this Development Consent. This certification must be provided to the PCA and a copy also provided to Council.

D. On-going

The approved parking must be used exclusively for car parking as approved for the life of the development.

13. Basement Car Park Design and Construction

A. Design

The basement car park must be designed in accordance with the approved architectural drawings, subject to the following modifications:

- i) A minimum headroom of 2.2m measured from the parking floor to the underside of any beam, ventilation duct or service conduit, or to the underside of any door including a security door and fittings when those doors are in an open position in accordance with clause 5.3 of AS2890.1.
- ii) Any single garage accessing off a 6.0m aisle must have a minimum width of 3m with a minimum door opening of 2.75m wide x 2.2m high clear of any necessary hinges, jambs or fixtures required for the operation of garage doors or any services within the garage area. (Deleted xxxxx)

- iii) Any double garage accessing off a 6.0m aisle must have a minimum width of 5.7m with a minimum door opening of 5.2m wide x 2.2m high clear of any necessary hinges, jambs or fixtures required for the operation of garage doors or any services within the garage area.
- iv) A parking bay within each adaptable garage must have a clear width of 3.8m, a clear length of 5.4m and a head height clearance of 2.5m, except where this space is occupied by a remote controlled roller door.
- v) The security door fitted to the car parking area entrance must be independently mounted on rubber pads to prevent vibration noise transmission through the concrete walls and / or columns.

B. Prior to Construction

Certification from a Chartered Civil Engineer or a Registered Surveyor, to the effect that the car park layout and vehicle access-way design has been prepared in accordance with A above must accompany the Construction Certificate.

C. Occupation

Prior to the occupation of the development or the issue of any Occupation Certificate a Chartered Civil Engineer or a Registered Surveyor must certify that the works required in "A" above have been completed to their satisfaction and in accordance with the requirements of this Development Consent. This certification must be provided to the PCA and a copy provided to Council.

D. On-going

The approved parking must be used exclusively for car parking for the life of the development.

14. Stormwater Drainage

A. Design

The stormwater drainage system must be designed in accordance with the approved stormwater drainage design drawing; Australian Standard AS3500.3:2015; the BASIX Certificate issued for this development; Sutherland Shire Environmental Specification - Stormwater Management. Except where modified by the following:

- i) A detailed drainage design supported by drainage calculations must demonstrate the management of stormwater flow / discharge for all events up to the 100 ARI storm event. This must include roof gutters / downpipes and in-ground drainage lines and the on-site detention system.
- ii) A layout of the drainage system showing existing and proposed pipe sizes, type, class, grades, lengths, invert levels, finished surface levels and location of all pipes with levels reduced to Australian Height Datum. Impacts on existing trees must be indicated on the plan.
- iii) Water from pathways and access driveways shall be prevented from entering the road reserve as surface flow. This can be achieved by constructing a box drain at the boundary equipped with a 300mm wide grate and frame to collect the flow or directing the flow to a sag pit within the property.
- iv) The rate of discharge of stormwater from the site to a drainage system under Council's control must be controlled so that it does not exceed the pre-development rate of discharge. Any required on-site detention facility must be designed to cater for all storm events up to the Recurrence Interval of 1 in 100 years.
- v) A new kerb inlet pit and associated lintel must be provided within Cecil Monro Avenue to facilitate the private connection to Councils piped system.
- vi) All levels reduced to Australian Height Datum.
- vii) The pipeline within the footpath verge must be a hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0 millimetres or reinforced concrete.

B. Before Construction

 Certification from an Accredited Certifier in Civil Engineering or a Chartered Civil Engineer, to the effect that the drainage design is to their satisfaction and satisfies the design requirements in A. above must accompany the application for a Construction Certificate.

C. Before Occupation

Prior to the issue of an Occupation Certificate:

i) A Works-As-Executed drawing (WAED) of the stormwater drainage system must be prepared by a Registered Surveyor. This drawing must detail the alignment of pipelines, pits, the rainwater tanks and the detention facilities. An original or a colour copy must be submitted to Sutherland Shire Council. ii) The supervising engineer must certify the WAED of the stormwater drainage system that the stormwater drainage works, rainwater harvesting facility and rainwater reuse systems were constructed to their satisfaction and in accordance with the Development Consent, and Public

Domain Technical Manual. Prior to the occupation or use of the building the Applicant / Owner must submit to Council a copy of the aforementioned letter of certification.

D. Ongoing

- i) The operation of all devices or appliances installed within the development approved by this consent as required by conditions pertinent to rainwater harvesting and rainwater reuse must be maintained in good operating order at all times.
- ii) The stormwater detention / absorption facility must be:
 - Kept clean and free from silt, rubbish and debris.
 - Be maintained so that it functions in a safe and efficient manner.
 - Not be altered without prior consent in writing of the Council.

Note: Upon submission of the Works-As-Executed drawing for the stormwater drainage system a notation will be added to the Section 10.7 certificate advising future owners that their property is burdened by a stormwater detention facility.

15. Stormwater Treatment

A. Before Construction

Appropriate stormwater treatment measures, selected and designed in accordance with Engineers Australia (2006) Australian Runoff Quality - A guide to Water Sensitive Urban Design, Argue J R (2013) WSUD: Basic Procedures for 'Source Control' of Stormwater - A Handbook for Australian practice, or other relevant industry design guidelines, must be provided as part of the permanent site stormwater quality management system. Details of the design, construction and maintenance must accompany the Construction Certificate.

B. Before Occupation

The work required by A. above must be completed to the satisfaction of the supervising engineer before occupation of the site or the issue of any Occupation Certificate.

C. Ongoing

The stormwater treatment measure must be maintained in accordance with the manufacturers' or designer's specification for the life of the development.

Note: Upon approval of the stormwater management designs a notation will be added to the Section

10.7 certificate in relation to any required stormwater treatment device.

16. Waste Collection (On Site Collection)

A. Design

The waste collection point must be designed in accordance with the following requirements:

- i) A "HRV" sized loading bay must be provided in accordance with AS2890.2 within the subject property (*i.e.* within the driveway) for waste collection use.
- ii) The maximum long and cross section grade of the loading bay and temporary bin holding area must be ±5%.
- iii) The temporary bin holding area is to be adjacent to the loading bay to facilitate ease of access for Council staff on collection day. The bin holding area must be 4.5m long x 2m wide to allow the temporary storage of all allocated bins for the development.
- iv) Clear and direct access must be provided from the bin holding areas to the loading bay.
- v) The permanent communal garbage and/or recycling storage area in Basement 01 must have a smooth impervious floor that is graded to a floor waste. A tap and hose must be provided to facilitate regular cleaning of the bins and all waste water must be discharged to the sewer in accordance with the requirements of Sydney Water. Garbage bins must be designed to prevent the escape of any liquid leachate and must be fitted with a lid to prevent the entry of vermin.

B. Before Construction

Prior to the issue of any Construction Certificate a suitable qualified civil engineer must certify that the waste collection point has been design in accordance with part A. above. A copy of this certification must accompany the Construction Certificate.

C. Before Occupation

Prior to the occupation of the site or the issue of any Occupation Certificate a suitable qualified civil engineer must certify the following:

- that the waste collection point has been constructed to their satisfaction and in accordance with part A above.
- A dedicated room or caged area has been provided for the waste carousel and compactor prohibit access by residents.

A copy of this certification must accompany the Occupation Certificate.

(Modified - xxxxx)

D. On-going

- i) All ongoing management, maintenance and cleaning of all waste and recycling management facilities, including suitable collection arrangements and how bins are to be moved from waste storage area/s to collection area/s are to carried out in accordance with the approved Waste Management Plan for the development.
- ii) All waste and recycling bins (including hard waste) must be stored wholly within the approved permanent communal garbage and/or recycling storage area in Basement 01. The bins must only be placed in the temporary bin holding area in the southern building setback at ground level on the evening prior to collection and then returned to the permanent communal garbage and/or recycling storage area in Basement 01 as soon as possible after pick-up, on the same day.

17. Damage to Adjoining Properties

A. Before Excavation and Construction Works

To minimise vibration damage and loss of support to buildings / structures and properties in close proximity to the development site, including the basement of 20 Gerrale Street, Cronulla, a Geotechnical Engineer's Report must be prepared detailing constraints to be placed on earth moving and building plant and equipment and the method of excavation, shoring, underpinning and support (including to ensure that no damage occurs to, or additional loads are placed on, the basement levels of 20 Gerrale Street Cronulla). This report must be provided to the person undertaking the excavation and the Principal Certifying Authority.

B. During Excavation and Construction Works

The constraints and recommendations of the Geotechnical Engineers Report must be implemented. All excavation and construction works must be supervised by a suitably qualified structural engineer.

18. Public Utilities

This condition is imposed to facilitate the provision of services to the development and reduce conflicts between services and lot boundaries, buildings or associated facilities.

A. Before Construction

Suitable arrangements must be made with all relevant utility service providers to ensure the development is appropriately serviced by electricity, gas, telecommunications (including NBN) and the like, and any necessary underground conduits are provided. The Australian Government has issued a new policy on the provision of telecommunications infrastructure in new development. This policy is effective from 1 March 2015. Developers are responsible for providing telecommunications infrastructure in their developments. To provide this infrastructure, developers need to contract a carrier to install and operate a telecommunications network. NBN is the IPOLR (infrastructure provider of last resort). NBN require 6 months' notice in order to make the network available.

A copy of the agreements/contracts with the utility providers must form part of the supporting construction certificate documentation.

B. Before Occupation/Subdivision

Prior to issue of any Occupation/Subdivision certificate, certification must be provided from each utility service provider/approved agent to the effect that each lot has been serviced to their satisfaction.

Prior to the issue of any Occupation/Subdivision certificate, evidence satisfactory to the Certifying Authority that arrangements have been made for:

The installation of fibre-ready facilities (conduits and pits) to all individual lots and/or premises/dwelling to enable fibre to be readily connected to any premises that is being ormay be constructed on those lots. Certification from each carrier/provider must be provided to the PCA that they are satisfied that the fibre ready facilities are fit for purpose.

- ii) The provision of fixed-line telecommunications infrastructure (cables) in the fibreready facilities to all individual lots and/or premises/dwellings must be installed and certification from the carrier/provider must be provided to the PCA stating that the infrastructure has been provided and to their satisfaction.
- iii) Installation of gas and/or electricity must be constructed/installed by the utility service provider/approved agent to each allotment. Certification must be provided from each provider/agent stating that all allotments have been serviced to their satisfaction.
- iv) WAE drawings must to be prepared by a registered surveyor detailing location and depth of conduits/pits and connection points/ties within allotments. A copy of the WAE drawings must form part of any Occupation/Subdivision certificate documentation.

Note: Should these requirements result in any significant change to the approved design an application must be made to modify the consent under s.4.55 of the Environmental Planning and Assessment Act.

19. Registration of Plan of Consolidation and Road Dedication

A. Prior to Construction

Prior to the issue of any Construction Certificate, a Plan of Subdivision must be registered with NSW Land Registry Services showing the following:

- i) Consolidation of Lot 20 DP839823, Lot D DP366048 and Lot 2 DP202936.
- ii) A 3m x 3m splay on the south-eastern corner of the site dedicated as road to Sutherland Shire Council in Stratum to improve vehicle sight lines.

20. Landscaping Works

A. Design

The landscaping works must be designed in accordance with the approved Landscape Plan except where modified by the following:

- Provide amendments as shown on the approved landscape plans referenced in Condition 1 of this consent.
- iii) Clearly show on plan existing trees to be removed /retained including tree numbering in accordance with the arborist report OR provide a separate existing tree plan and schedule.

- iv) Tree Protection Zones (TPZ) / the location of tree protective fencing must be shown onplan for all existing trees and/or natural site features to be retained and protected.
- v) Provide minimum soil depths AND volumes when planting over slab in accordance with the Apartment Design Guide as follows:
 - 1200mm depth for large trees (12-18m tall)
 - 1000mm depth for medium trees (8-12m tall)
 - 800mm depth for small trees (6-8m tall)
 - 600mm for shrubs.
 - 300-450mm for ground covers.
 - 200mm depth for turf
- vi) The Communal Open Space (COS) to the north western corner of the site must accommodate a universal toilet, BBQ, basic kitchen facilities and furniture as shown on the landscape plans referenced in condition 1 of this consent.
- vii) All landscape retaining walls and planter boxes must be constructed in masonry, stone or gabions. Timber is not acceptable.
- viii) Each ground floor unit must be provided with a clothes line easily accessible from the laundry. Each unit above the ground floor must be provided with a clothes line on a balcony located below balustrade height, with the balustrade treated so that clothes are not readily visible from the street.
- ix) All planted and turf areas including those on slab must be provided with a waterefficient irrigation system and taps at 25m centres, connected to a pump and the rainwater tank or mains, to enable effective plant establishment and maintenance.
- x) The private open space of each ground floor dwelling must be provided with one tap, connected to mains water.
- xi) To improve coverage and reduce weeds and maintenance, planting densities in all planting areas including planter boxes must achieve a minimum of 4 plants per square metre.
- xii) To reduce long term maintenance of planting beds turf species must be native grass such as

Zoysia macrantha 'Nara' or Buffalo grass varieties.

- xiii) Screening trees capable of attaining a minimum of 12m height at maturity are to be installed in a minimum 200L pot size at the following locations on the ground floor.
 - 1. 3 to Cecil Monro Avenue frontage
 - 2. 9 to Ozone Street frontage

3. 4 to Ocean Grove Avenue

The applicant must engage a suitably qualified Landscape Designer or Landscape Architect to oversee any design changes to the approved Landscape Plan and amendments required above. Details of these design changes must be included in the documentation submitted with the application for a Construction Certificate.

Notes:

A Landscape Designer is a person eligible for membership of the Australian Landscape Designers and Managers and a Landscape Architect is a person eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

If demolition works to occur prior to the Construction Certificate being issued, tree protection measures must be installed prior to commencement of demolition.

B. Prior to Occupation/Occupation Certificate

The landscape works must be completed in accordance with the approved Landscape Plan and amendments required by 'A' above by persons with a minimum AQF Level III certification in Horticulture or Landscape Construction. A Final Landscape Inspection must be carried out and a certificate issued by Council's landscape officer prior to occupation or the issue of an Occupation Certificate. This certificate is required to ensure that all tree protection measures, landscaping works, replacement tree planting and the deep soil percentage requirements have been carried out in accordance with 'A' above and other conditions within this consent, and that all new indigenous plants on the site and within the road reserve are the correct species.

To arrange a Final Landscape Inspection please phone 9710-0333 a minimum of 48 hours prior to the required inspection date. An inspection fee will be charged in accordance with the current schedule of rates listed on Council's website. Any secondary inspections will incur a reinspection fee.

C. Ongoing

All landscaping works required by 'A' above must be maintained for 12 months following the final landscape inspection date. Trees required by this condition must be maintained and protected until they are covered by Council's Controls for Preservation of Trees and Bushland Vegetation (SSCDCP 2015 Chapter 38).

Any plants found faulty, damaged, diseased or dead shall be replaced with the same species in the same sized container within one month with all costs borne by the owner.

Note: If difficulty is experienced sourcing suitable indigenous plants from other suppliers, plants grown from locally provenance seed may be available from:

Sutherland Shire Council Nursery 345 The Boulevarde, Gymea Ph: 02 9524 5672

21. Tree Removal on Private and Council Land (Projects Dual Occupancies and Larger)

The removal of the following trees is approved:

i) Trees identified on the approved Landscape Plan as "existing tree to be removed" and/oras listed below:

Tree No.	Tree Species (botanical and	Location	
	common name)		
5	Hibiscus tiliaceus	Refer to Drawing TMP01 of the	
		Arboricultural	
		Impact Appraisal and Method Statement	
		prepared by Naturally Trees dated 27 th	
		Sept,	
		2017	
6	Hibiscus tiliaceus	u	
7	Melalueca quinquenervia	u u	
8	Lagunaria patersonii	u	
18	Archontophoenix alexandrae	u	
19	Lagunaria patersonii	и	
20	Archontophoenix alexandrae	и	

- ii) Any declared noxious plant. The applicant is to ensure that all noxious plants are properly identified and controlled/removed.
- iii) Any tree species exempted by the Sutherland Shire Local Environmental Plan 2015.

All other vegetation that would require approval to be removed must be protected.

A. Tree Replacement

i) Seven (7) trees are approved for removal as part of this consent. Where trees are proposed to be removed Sutherland Shire Council requires indigenous replacement canopy tree planting at a ratio of 8:1 on private land (dual occ / medium / high density) and 4:1 on Council land (Council Resolution EHR003-17 of 18 July 2016).

- ii) Fifty six (56) replacement trees are required to be planted.
- iii) A minimum number of ten (10) <u>indigenous</u> trees must be planted on the site and/or the street. Replacement trees within the site must be planted within 3m of the front or rear setback of the subject property and not within 4m of an existing or approved building or swimming pool.
- iv) Trees must have a minimum container size of 5 litres.

Note: For the remaining forty six (46) replacement trees required by "A ii)" above, Council offers offsite planting under a 'Deed of Agreement' as an alternative to on site planting, at a cost of \$110 per tree.

Offsite planting will be undertaken as part of Council's Green Street Program. 'Deed of Agreement' forms can be downloaded from Council's website at www.sutherlandshire.nsw.gov.au/Development/Development-Applications/Off-Site-Tree-Replacement-and-Deed-of-Agreement. A completed form and payment must be submitted to Council prior to the release of the Construction Certificate.

B. Tree Removal on Council Land

Council has preferred supplier agreements in place with arborists who are approved to carry out arbor works on Council land. Removal / pruning of the tree/s listed below must only be undertaken using Council's preferred supplier at the applicant's expense. The applicant is responsible for contract management and payment of the arborist prior to works being undertaken.

Alternatively, if Council's Contractor is unavailable, the applicant may engage their own contractor with appropriate qualifications, licences and insurances and forward their name and details to Council prior to the commencement of work. This information will be kept on record in the event of any reportable incidents. The applicant is responsible for contract management and payment of the Arborist. Any contractor used <u>must</u> undertake all work according to the Australian Standard for Amenity Pruning (AS4373).

Select from Council's list of preferred suppliers listed on Council'swebsite: http://www.sutherlandshire.nsw.gov.au/Residents/Trees/Trees-on-Council-or-Public-Land. Payment of the quoted amount provided must be made prior to any works commencing on site.

C. Prior to Occupation/Occupation Certificate

The replacement tree planting must be completed in accordance with the approved

Landscape Plan/ required street tree planting. Certification will be provided as part of the

Final Landscape Inspection by Council's landscape officer (refer Condition - Approved

Landscape Plan).

D. Ongoing

Trees required by this condition must be maintained and protected until they are covered

by Council's Controls for Preservation of Trees and Bushland Vegetation (SSCDCP2015

Chapter 39). Any replacement trees found damaged, dying or dead must be replaced with

the same species in the same container size within one month with all costs to be borne

by the owner.

Note: If you have difficulty sourcing suitable indigenous plants from other suppliers, plants

grown from local provenance seed may be available from:

Sutherland Shire Council Nursery

345 The Boulevarde, Gymea

Ph: 02 9524 5672

Opening hours - Monday to Friday 7.00am-3.00pm (excluding public holidays).

22. Tree Retention and Protection

The following condition applies to all trees on the subject site, trees on the adjoining

sites (which are potentially affected by the development works), as well as trees on the

adjoining Council land that are not approved for removal.

A. Before Works

Prior to the commencement of any demolition, excavation or construction works on site

the applicant must engage a suitably qualified and experienced Supervising Consulting

Arborist to oversee the measures for the protection of existing trees as listed below.

Note: A Consulting Arborist is a person with a current membership of the Institute of

Australian Consulting Arborculturalists (IACA) or alternatively a person who has

obtained an Australian Qualifications Framework AQF Level 5 in Arboriculture.

27

All trees not approved for removal must be protected by the measures outlined in the Arboricultural Impact Appraisal and Method Statement prepared by Naturally Trees dated 27th September, 2017 and as outlined below:

- i) Protective fencing constructed of 1.8m high chain wire mesh supported by robust posts must be installed in accordance with the Arboricultural Impact Appraisal and Method Statement prepared by Naturally Trees dated 27th September, 2017. Signage must be erected on the fence with the following words clearly displayed "TREE PROTECTION ZONE, DO NOT ENTER".
- ii) The tree protection zone within the protective fencing must be mulched with a maximum depth 75mm of suitable organic mulch (woodchips or composted leaf chip mulch) and kept regularly watered for the duration of the works subject to this consent.
- iii) No development or associated activity is permitted within the fenced tree protection zone for the duration of works subject to this consent. This includes vehicular or pedestrian access, sheds, washout areas, excavations, backfilling, installation of services (including stormwater), removal of top soil, stockpiling of soil or building materials.
- iv) Where site access/egress is required over the roots of trees identified for retention and protection, provide hardwood rumble boards over a 200mm thick layer of wood chip.
- vi) Where it is impossible to install protection fencing to the full extent of the specified Tree Protection Zone- install trunk and branch boarding protection as shown in Figure 4 of the Australian Standards AS4970- Protection of Trees on Development Sites (Page 17).

B. During Works

- The tree protection measures detailed in 'A' above must be maintained during construction.
- ii) The supervising Consulting Arborist must be present during any approved hand excavation or under boring works within the Tree Protection Zone (TPZ) of any tree identified for retention and protection and have the authority to direct works to ensure the trees long term preservation.
- iii) The supervising Consulting Arborist must strictly supervise that there is no disturbance or severing of roots greater than 50mm diameter and to cleanly cut those roots between 10-50mm in diameter.

iv) If the tree/s identified for retention in 'A' above are damaged or destabilised during construction then works must cease and Council's Tree Assessment Officer (ph. 9710 0333) must be contacted to assess the tree/s and recommend action to be taken.

Hold	Task	Responsibility	Certification	Timing of Inspection	Sign/Date
Point					
1.	Indicate clearly with	Principal	Supervising	Prior to demolition and	
	spray paint trees	Contractor	Arborist	site establishment	
	approval for				
	removal				
	Only				
2.	Establishment of	Principal	Supervising	Prior to demolition and	
	tree	Contractor	Arborist	site establishment	
	protection fencing				
3.	Supervise all	Principal	Supervising	As required prior to	
	excavation works	Contractor	Arborist	the works proceeding	
	proposed within the			adjacent to the tree	
	TPZ				
4.	Inspection of trees	Principal	Supervising	Bi-monthly during	
	by	Contractor	Arborist	construction period	
	Project Arborist				
5.	Final inspection of	Principal	Supervising	Prior to issue of	
	trees by project	Contractor	Arborist	interim/final	
	Arborist			Occupation	
				Certificate	

v) Ensure each hold point outlined below within the Tree Protection Schedule is signed off and dated progressively by the Consulting Arborist throughout the various development stages, including preconstruction, construction and post construction. Photographic evidence must also be provided.

C. Before Occupation

Prior to the issue of an Occupation Certificate the Supervising Arborist's signed and dated checkpoint list and photographic evidence must be provided to both the Private Certifying Authority and Council's Landscape Officer at the time of the final landscape inspection.

23. Green Wall Design

A. Design

The design of the green wall on the eastern elevation of Ground floor and Level 1 (adjacent to the main building entry from Ozone Street) must demonstrate the response to site conditions, including in particular light availability, sun, salt tolerance and wind impacts.

B. Before Construction

- Detailed drawings demonstrating how the green wall is constructed, including proposed materials, planter dimensions, and integration into the wall structure;
- ii) Details of the proposed growing medium, including soil depth and type;
- iii) Location, numbers, type and size of plant species selected (with plants being selected on the basis of the site conditions);
- iv) Drainage, irrigation and waterproofing details (as applicable); and
- v) Details of any additional lighting (where applicable).

Note:

A Landscape Designer is a person eligible for membership of the Australian Landscape Designers and Managers and a Landscape Architect is a person eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

24. Green Wall Maintenance Plan

A. Before Construction

Prior to the issue of a Construction Certificate, a "Green Wall Maintenance Plan" is to be prepared by a suitably qualified Landscape Designer or Landscape Architect, relating to all green walls shown on the landscape plans listed in condition 1. The maintenance plan must include information on:

- (i) How access will be provided to the plants, soil and structural elements for installation and maintenance;
- (ii) How the Green Wall irrigation system will be maintained and periodically checked;
- (ii) Details outlining the intended replacement strategy for the plants in the event that the plantsfail
 - (with a maximum replacement period of 2 weeks).

Note:

A Landscape Designer is a person eligible for membership of the Australian Landscape Designers and Managers and a Landscape Architect is a person eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

25. Balcony planters - common ownership

A. Before Construction

Prior to the issue of a Construction Certificate, a "Maintenance Plan" is to be prepared by a suitably qualified Landscape Designer or Landscape Architect, relating to all elevated planters shown on the plans listed in condition 1. The maintenance plan must include information on:

- (i) How access will be provided to the plants, soil and structural elements for installation and maintenance;
- (ii) How the irrigation system will be maintained and periodically checked;
- (ii) Details outlining the intended replacement strategy for the plants in the event that the plants fail (maximum replacement period of 2 weeks)

Note:

A Landscape Designer is a person eligible for membership of the Australian Landscape Designers and Managers and a Landscape Architect is a person eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

26. Unexpected Finds Protocol

A. Before Construction and Issue of a Construction Certificate

An Unexpected Finds Protocol (UFP) must be prepared as part of a Construction Environmental Management Plan (CEMP), by an appropriately qualified and experienced environmental consultant to manage the discovery of unexpected soil and/or groundwater contaminants which may be encountered during excavation and/or construction works.

The environmental consultant must be certified by one of the following certification schemes, or demonstrate an equivalent standard acceptable to Sutherland Shire Council, Manager Environmental Science:

 EIANZ 'Certified Environmental Practitioner - Site Contamination' scheme (CEnvP SC) Soil Science Australia 'Certified Professional Soil Scientist - Contaminated Site Assessment & Management' scheme (SSA CPSS CSAM)

The Unexpected Finds Protocol and the Construction Environmental Management Plan must accompany the application for a construction certificate.

B. During Works

If unexpected contaminants are encountered during excavation and/or construction works, the situation is to be assessed and managed in accordance with the Unexpected Finds Protocol and Construction Environmental Management, under the supervision of an appropriately qualified and experienced environmental consultant.

27. Management of Site Soil / Fill Material

A. During Works

Disposal of site soils

Any soils to be excavated and disposed of from the site must be analysed and classified by an appropriately qualified and experienced environmental consultant, in accordance with relevant NSW EPA guidelines including the "Waste Classification Guidelines" 2014, prior to off-site disposal.

The environmental consultant must be certified by one of the following certification schemes, or demonstrate an equivalent standard acceptable to Sutherland Shire Council, Manager Environmental Science:

- EIANZ 'Certified Environmental Practitioner Site Contamination' scheme (CEnvP SC).
- Soil Science Australia 'Certified Professional Soil Scientist Contaminated Site Assessment & Management' scheme (SSA CPSS CSAM).

Excavated material is to be transported to an appropriately licensed waste facility by an EPA licensed waste contractor in accordance with relevant NSW EPA guidelines.

ii) Importation of fill material

Any fill material that is imported onto the site must comprise Virgin Excavated Natural Material (VENM), Excavated Natural Material (ENM) or other suitable material in accordance with the relevant Resource Recovery Exemption issued under the *Protection of the Environment Operations (Waste) Regulation 2014.*

28. Basement Design - Management of Groundwater

A. Design

The subsurface/ basement structure must be designed with a water proof retention system (i.e. tanking) with adequate provision for future fluctuation of the water table. The subsurface structure is required to be designed with consideration of uplift due to water pressure and "flotation" (buoyancy) effects. Subsoil drainage around the subsurface structure must allow free movement of groundwater around the structure, but must not be connected to the internal drainage system.

B. Before Construction

Certification must be provided by a suitably qualified, chartered professional Civil or Structural Engineer that the subsurface/ basement structure has been designed in accordance with 'A' above.

C. Before Occupation

Certification must be provided by a suitably qualified, chartered professional Civil or Structural Engineer that the subsurface/ basement structure has been constructed to their satisfaction in accordance with the development consent, prior to the issue of an occupation certificate

29. Car Wash Bay

To prevent contamination of the stormwater drainage system, the Carwash Bay in the north-western corner of Basement 02 must meet the following requirements:

A. Design

The wash-bay must be graded to an internal drainage point and connected to the sewer.

B. Before Construction

Details of the design satisfying 'A' above must accompany the application for a Construction Certificate.

C. Before Occupation

The Principal Certifying Authority must be satisfied that

i) 'A' above has been complied with and

ii) any discharge to the sewer from the premises is in accordance with the requirements of Sydney Water.

D. Ongoing

All car-wash, engine degreasing and steam cleaning must be conducted in the washbay detailed in 'A' above. Wastewater must be treated in accordance with the requirements of Sydney Water.

30. Garbage, Recycling and Green-waste Storage Area

To ensure the proper storage of waste from the premises:

A. Design

The garbage and recycling storage area must have a smooth impervious floor that is graded to a floor waste. A tap and hose must be provided to facilitate regular cleaning of the bins and all waste water must be discharged to the sewer in accordance with the requirements of Sydney Water. Garbage bins must be designed to prevent the escape of any liquid leachate and must be fitted with a lid to prevent the entry of vermin.

B. Before Construction

Details of compliance with 'A' above must form part of the documentation accompanying the applications for a Construction Certificate.

C. Before Occupation

The works must be completed prior to the issue of any Occupation Certificate.

D. Ongoing

All waste and recycling bins (including hard waste) must be stored wholly within the approved Waste Room (and Hard Waste Area) in Basement 01. The bins must only be placed in the temporary bin holding area in the southern building setback at ground level on the evening prior to collection and then returned to the permanent communal garbage and/or recycling storage area in Basement 01 as soon as possible after pick-up, on the same day.

31. External Lighting - (Amenity)

To ensure that any lighting on the site does not cause a nuisance to neighbours or motorists on nearby roads:

A. Design

All lighting must be designed in accordance with Australian Standard AS4282 - Control of the Obtrusive Effects of Outdoor Lighting.

B. Ongoing

All lighting must be operated and maintained in accordance with the Standard above.

32. Noise Control - Residential Air Conditioning Units

To minimise the noise impact on the surrounding environment:

A. Design

The units must be designed so that noise generated does not cause an LAeq (15min) sound pressure level in excess of 5 dB(A) above the ambient background level when measured on or within any residential property.

B. Ongoing

- i) The units must be operated in accordance with 'A' above.
- ii) Between the hours of 10.00pm and 8.00am on weekends and public holidays and 10.00pm and 7.00am any other day, noise emitted must not be heard within any residence with its windows and/or doors open or closed.

33. Noise and Vibration Control - Residential Car Park

To minimise noise and vibration from use of the security door in the car park:

A. Design

The proposed security door fitted to the car parking area entrance must be independently mounted on rubber pads or otherwise installed to prevent vibration noise transmission through the concrete walls and / or columns.

B. Before Occupation

The Principal Certifying Authority must be satisfied that 'A' above has been complied with.

34. Demolition Work

To ensure that demolition of structures is carried out in an environmentally acceptable and safe manner:

A. Before Commencement

If works involve the removal of more than 10 square metres of asbestos material, a bonded asbestos licence is required. A friable asbestos licence is required to remove, repair or disturb any amount of friable asbestos. For further information contact SafeWork NSW.

B. During Works

- i) The demolition of the existing building must be carried out strictly in accordance with Australian Standard 2601 - The Demolition of Structures.
- ii) The applicant must ensure that the demolition contractor has a current public risk insurance coverage for a minimum of \$5 million. A copy of the Policy must be submitted to the Council prior to demolition.

To ensure that the removal and transportation of any asbestos material, regardless of the quantity, is carried out in an environmentally acceptable and safe manner, all work must comply with the following:

- a) Work Health and Safety Act 2011;
- b) Work Health and Safety Regulation 2011;
- c) Safe Work Australia Code of Practice How to Manage and Control Asbestos in the Workplace:
- d) Code of Practice for the Safe Removal of Asbestos 2nd Edition [NOHSC:2002(2005)];
- e) SafeWork NSW 'Working with Asbestos Guide 2008';
- f) Protection of the Environment Operations Act 1997; and
- g) Protection of the Environment Operations (Waste) Regulation 2005.

Asbestos waste in any form must be disposed of at a waste facility licensed by the NSW EPA to accept asbestos waste. Any asbestos waste load over 100kg (including asbestos contaminated soil) or 10m² or more of asbestos sheeting must be registered with the EPA on-line reporting tool WasteLocate. More information can be found at https://wastelocate.epa.nsw.gov.au.

35. Dilapidation Report - Adjoining Properties

A. Before Works

To assist in the resolution of any future disputes about damage to properties adjoining the development site, prior to commencement of any work on site the Applicant or principal contractor must provide dilapidation reports on the adjacent buildings at No.s 14, 18 & 20 Gerrale Street, including any basements and ancillary structures. The reports must be provided to the Principal Certifying Authority and to the owners of the properties that are the subject of the report.

The reports must be prepared by a suitably qualified and experienced person, such as a structural engineer.

36. Design Requirements for Adaptable Housing

A. Design

A report prepared by a suitably qualified Adaptable Housing Specialist must be submitted with the Construction Certificate, demonstrating that the development complies with the requirements of AS4299 - Adaptable Housing. The report must contain a completed checklist (Appendix A - AS4299) demonstrating compliance with the requirements of a Class C Adaptable House.

B. Before Occupation

A suitably qualified Adaptable Housing Specialist must certify prior to the issue of any Occupation Certificate that the development has been constructed in accordance with the requirements of AS4299 - Adaptable Housing for a Class C Adaptable House. A copy of this certification must accompany the Occupation Certificate.

37. Verification of Design for Construction - SEPP 65

A. Design

Design verification must be provided by a registered Architect pursuant to SEPP 65 stating that the design intent approved by the Development Consent has been maintained in the building / architectural plans submitted with the Construction Certificate. This must accompany the application for a Construction Certificate.

B. Before Occupation

Prior to the issue of the final Occupation Certificate design verification must be provided in accordance with SEPP 65.

38. External Walls and Cladding Flammability

A. Design

The external walls of the building, including attachments, must comply with the relevant requirements of the *National Construction Code (NCC)*. This includes the products and systems proposed for use or used in the construction of external walls including finishes and claddings such as synthetic or aluminium composite panels

B. Before Construction

Details of compliance with "A" above must form part of the application for a Construction Certificate.

C. Before Occupation

Certification, including an appropriate level of detail to demonstrate compliance with the NCC as built, must be provided by an appropriately accredited professional that external finishes of the building complies with "A" above.

39. Certification Requirement of Levels

A. During Construction

At the following stages of construction:

- i) Prior to the pouring of each floor or roof slab,
- ii) Upon completion of the roof frame.
- iii) Prior to the pouring / installation of the swimming pool shell

A registered surveyor must provide the Principal Certifying Authority with Certification that the stage of structure complies with the development consent in respect of levels.

B. Before Occupation

The certification referred to above must form part of the application for an Occupation Certificate.

40. Sydney Water Requirements & Section 73 Compliance Certificate

A. Before Any Works

Prior to the commencement of any works on site, including demolition or excavation, the plans approved as part of the Construction Certificate must also be approved by Sydney Water. This allows Sydney Water to determine if sewer, water or stormwater mains or easements will be affected by any part of your development. Customers will receive an approval receipt which must be included in the Construction Certificate documentation.

Please refer to the web site www.sydneywater.com.au.

B. Before Occupation / Subdivision Certificate

Prior to the issue of an Occupation Certificate or a Subdivision Certificate a Compliance Certificate under Section 73 of the Sydney Water Act, 1994, must be submitted to Council by the Principal Certifying Authority. Sydney Water may require the construction of works and/or the payment of developer charges. This assessment will determine the availability of water and sewer services, which may require extension, adjustment or connection to the mains.

Sydney Water Advice on Compliance Certificates:

Sydney Water will assess the development and if required will issue a Notice of Requirements letter detailing all requirements that must be met. Applications can be made either directly to Sydney Water or through a Sydney Water accredited Water Servicing Coordinator. Please make early contact with the Coordinator, since building of water / sewer extensions can be time-consuming and may impact on other services as well as building, driveway or landscaping design.

Go to www.sydneywater.com.au/section73 or call 1300 082 746 to learn more about applying through an authorised WSC or Sydney Water.

41. Dial Before You Dig

A. Before Construction

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial Before You Dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (this is the law in NSW).

It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

42. Noise Control and Permitted Hours for Building and Demolition Work

A. During Works

To minimise the noise impact on the surrounding environment:

- i) The LAeq sound pressure level measured over a period of 15 minutes when the construction or demolition site is in operation, must not exceed the ambient background level (LA90 15min) by more than 10dB(A) when measured at the nearest affected premises.
- ii) All building and demolition work must be carried out only between the hours of 7.00am and 6.00pm Monday to Friday inclusive, 8.00am and 3.00pm Saturdays. No work must be carried out on Sundays and Public Holidays.

On 13 occasions, only for the purpose of pouring large floor or roof slabs, work may be carried out on the site from 7.00am to 8pm Monday to Friday, excluding Public Holidays on a week day.

In order to activate the extended hours of operation both Council and affected neighbours must be notified a minimum of 48 hours prior to commencement. Affected neighbours include those in the immediate vicinity, adjacent or adjoining the development site. Notification must be by way of written advice including:

- Date/s the extended hours will be utilised.
- The purpose of the extended hours pouring large slab.
- Address of the development works / site.
- Contact name and number of appropriate site officer (supervisor or manager) for enquiries.

Notification to Council must include a copy of the letter and a map or list identifying those affected neighbours who have been notified.

43. Toilet Facilities

A. During Works

Toilet facilities must be available or provided at the work site at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site before works begin and must be maintained until the works are completed.

Each toilet must:

- i) be a standard flushing toilet connected to a public sewer, or
- ii) have an on-site effluent disposal system approved under the Local Government Act 1993, or
- iii) be a temporary chemical closet approved under the Local Government Act 1993.

44. Street Numbering and Provision of Letter Box Facilities

A. Before Occupation

- i) Street numbers must be clearly displayed.
- ii) Suitable letterbox facilities must be provided in accordance with Australia Post specifications.
- iii) The dwellings must have the following street address format:
 - The site must be known as 5 Ozone Street Cronulla
 - The units must be number in a hotel style format i.e. G01, G02, 101, 102, 201, 202 etc.

45. Car parking Areas

A. Ongoing

To ensure that the car parking area satisfies the demands of the development, any parking nominated as visitor parking or common property (including trades or service vehicle parking) must be continually available as common property.

46. Car Parking Allocation

A. Before Subdivision

Car parking must be allocated to individual strata lots as part of their unit entitlement.

Visitor parking and trades or service vehicle spaces and/or car wash bays must be designated as common property on any strata plan.

Parking must be allocated on the following basis:

Residential dwellings: 59 70 spaces

Residential visitors: 1 space

Trades or service vehicle spaces: 2 spaces

Car wash bay: 1 space

(Modified - xxxxx)

B. Ongoing

The car-parking provided must only be used in conjunction with the dwellings contained within the development as detailed above and not for any other purpose.

47. Loading and Unloading

To preserve the amenity and ensure the safety of the public:

A. Ongoing

All loading and unloading of vehicles (including removalist trucks) associated with the apartments must be carried out:

- Within the waste collection loading bay within the property and not from the public roadway
- ii) Only between the hours of 9am and 8pm on Mondays Tuesdays and Thursdays- Sundays (including public holidays) and between 12pm and 8pm on Wednesdays.
- iii) Using vehicles no larger than Heavy Rigid Vehicle (HRV)

48. Restricted Hours of Use of Rear Communal Open Space

A. Ongoing

The rear communal open space located in the north-western corner of the site may only be utilised between the hours of 8am and 10pm, 7 days a week (including public holidays). Prominent signage must remain affixed to all entry points of this communal open space to clearly alert residents and visitors to this restriction.

49. Basement Car Park Security Requirements

A. Design

The following design requirements must be satisfied:

- i) Security shutters / roller door must be installed at the main entry to the basement car parklevels. An intercom system must be installed for visitors to gain entry.
- ii) Storage rooms within the basement car park levels must be fitted with deadlocks.
- iii) The basement car park levels must be painted in bright colour/s to reflect light (thereby improving security), appear larger and more spacious and reduce the number of lights required to illuminate the basement.

50. Closed Circuit Television (CCTV)

A. Before Occupation

To increase resident safety and security, a CCTV system must be installed to monitor all common areas (including letter boxes), the access / exit driveway and all basement car park levels including lift areas.

51. Communal Open Space (North East)

- i) The planter to the western edge of the communal open space shall be a consistent height of 1m (RL 17.00).
- ii) The walls when within the deep soil zone shall be piered to not reduce the deep soil area further.
- iii) The planting within this elevated planter shall follow drawing L08 issue Q dated 31.01.19

52. Noise Control - Design of Plant and Equipment (General Use)

To minimise the impact of noise from the development, all sound producing plant, equipment, machinery, mechanical ventilation system or refrigeration systems:

A. Design

All plant and equipment must be designed and/or located so that the noise emitted does not exceed an LAeq sound pressure level of 5dB above the ambient background level when measured at the most affected point on or within any residential property boundary.

Note: The method of measurement of sound must be carried out in accordance with Australian Standard 1055.1.

B. Before Occupation

Certification must be provided by a qualified acoustic engineer that all work associated with the installation of the acoustic measures has been carried out in accordance with 'A' above.

C. Ongoing

All plant and equipment must be operated and maintained in accordance with 'A' above.

(Added - xxxxx)

53. Design Changes Required

A. Before Construction

The following design changes must be implemented:

- i) Aluminium privacy screens (as shown as PS on the Material Finishes plan S4.56_DA400, issue C, dated 18 March 2020) are to be installed wrapping around the north western corner of each unit on levels 1 to 7.
- ii) The ground floor level (base of the building) is to be finished in sandstone cladding.
- iii) The front fence is to be finished in sandstone cladding and constructed no greater than 400mm in height when measured from natural ground level.

(Added - xxxxx)

END OF CONDITIONS



RECORD OF DEFERRAL SYDNEY SOUTH PLANNING PANEL

DATE OF DETERMINATION	Wednesday, 21 November 2018	
PANEL MEMBERS	Helen Lochhead (Chair), Bruce McDonald, Nicole Gurran, Michael Forshaw, Steve Simpson	
APOLOGIES	None	
DECLARATIONS OF INTEREST	None	

Public meeting held at Sutherland Shire Council, 4-20 Eton St, Sutherland on 21 November 2018, opened at 2.35pm and closed at 7:20pm

MATTER DETERMINED

2018SSH015 – Sutherland – DA18/0323 at 5-9 Ozone Street, Cronulla (as described in Schedule 1)

REASONS FOR DEFERRAL

The panel agreed to defer the determination of the matter so that additional information from the applicant to demonstrate how:

- 1. the adverse impacts of the development, in particular view loss, have been addressed as per the relevant considerations in the LEP.
- 2. the amended design addresses the comments of Council's Design Review Forum (DRF) at their meeting on 25 October 2018. This submission is to be reconsidered by the DRF and their comments along with an updated Design verification statement be provided to the Panel.

An amended report, including the applicant's submissions be prepared by Council is to be submitted to the Panel for their reconsideration of the application.

The applicant should provide this additional information to Council within 30 days. When this information has been assessed by Council, the panel will hold another public determination meeting.

The decision to defer the matter was unanimous. The Panel adjourned during the meeting to deliberate on the matter and formulate a resolution.

PANEL MEMBERS		
Al-Kockhead	N.y	
Helen Lochhead (Chair)	Nicole Gurran	
Bruce McDonald	Steve Simpson	
Michael Forshaw		

	SCHEDULE 1			
1	PANEL REF – LGA – DA NO. 2018SSH015 – Sutherland – DA18/0323			
2	PROPOSED DEVELOPMENT	Demolition of existing structures and construction of aa residential apartment building containing 32 apartments and 3 basement parking levels		
3	STREET ADDRESS	5-9 Ozone Street, Cronulla		
4	APPLICANT/OWNER	Ozone Cronulla Pty Ltd		
5	TYPE OF REGIONAL DEVELOPMENT	General development over \$30 million		
7	MATERIAL CONSIDERED BY THE PANEL	 Environmental planning instruments: State Environmental Planning Policy (State and Regional Development) 2011 State Environmental Planning Policy (Coastal Management) 2018 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 State Environmental Planning Policy No. 65 (Design Quality of Residential Flat Development) Apartment Design Guide Sutherland Shire Local Environmental Plan 2015 Draft environmental planning instruments: Nil Development control plans: Sutherland Shire Development Control Plan 2015 Sutherland Shire Section 94 Development Contributions Plan 2016 Planning agreements: Nil Provisions of the Environmental Planning and Assessment Regulation 2000: Nil Coastal zone management plan: Nil The likely impacts of the development, including environmental impacts on the natural and built environment and social and economic impacts in the locality The suitability of the site for the development Any submissions made in accordance with the Environmental Planning and Assessment Act 1979 or regulations The public interest, including the principles of ecologically sustainable development Council assessment report: 9 November 2018 Written submissions at the public meeting: Support – Nil Object – Tony Robb, James Flaherty, Jim McDonald, Bill Swingler, Paul Heeks Council assessment officer – Martin Southwell, Carine Elias, Amanda Treharne 		
		 On behalf of the applicant – Julie Grant, Vic Lake, Jeff Baker, Matthew McCarthy 		
8	MEETINGS, BRIEFINGS AND SITE INSPECTIONS BY THE PANEL	 Briefing 22 August 2018 Site inspection 21 November 2018 Final briefing to discuss council's recommendation, 21 November 2018, 1.45pm. Attendees: 		

		 Panel members: Helen Lochhead (Chair), Bruce McDonald, Nicole Gurran, Michael Forshaw, Steve Simpson Council assessment staff: Carine Elias, Martin Southwell, Amanda Treharne, Peter Barber
9	COUNCIL RECOMMENDATION	Approval
10	DRAFT CONDITIONS	Attached to the council assessment report

APPENDIX 'C'

Apartment I	Apartment Design Guide (ADG) –Building Key Design Criteria			
Objective	Design Criteria	Proposal	Complies	
3D-1	COS has a minimum area equal to 25% of the site.	n/w corner	Yes	
Communal		n/e corner		
Open				
Space	A minimum of 50% direct sunlight to the principle			
(COS)	usable part of COS for a minimum of 2 hours			
	between 9am and 3pm on 21 June (mid-winter).			
3E-1	Deep soil zones are to meet the following minimum	149.1m ²	Yes	
Deep Soil	requirements.			
Zones	7% of the site area. (111.44m²)			
3F-1	Minimum required separation distances from	Ground		
Visual	buildings to the side and rear boundaries:	6m	Yes	
Privacy		Level 1		
	Up to 12m (4 storeys)	5 to 6m	No	
	6m habitable rooms/balconies	Levels 2 and 3		
	3m non-habitable rooms	3.72 to 6m	No	
	Up to 25m (5-8 storeys)	Levels 4 to 7		
	9m habitable rooms/balconies	3.72 to 6m	No	
	4.5m non-habitable rooms			
	Over 25m (9+Storeys)	Level 8		
	12m habitable rooms / balconies	4.1 to 9m	No	
	6m non-habitable rooms			
4A-1	Living rooms and private open spaces of at least	23 units	No	
Solar and	70% of apartments in a building receive a minimum		(See	
Daylight	of 2 hours direct sunlight between 9am and 3pm at		Assessment	
Access	mid-winter.		Report)	
	(i.e. 27 apartments)			
4B-3	At least 60% of apartments are naturally cross	23 units	Yes	
Natural	ventilated in the first nine storeys.			
ventilation	i.e. 23 apartments			
			Yes	
	Max depth 18m for cross through apartment			

10.4	I o 7	0.7 1:	
4C-1	2.7m	2.7m achievable due	Yes
Ceiling		to 3.1m floor to floor	
heights		height	
4D-1	• 1 bedroom = 50m ²	All units exceed the	Yes
Apartment	• 2 bedroom = 70m ²	minimum size	
Size &	• 3 bedroom = 90m ²	requirements	
Layout	(additional 5m² if second bathroom proposed)		
4D-2	8m from a window	8.5m to cabinetry	No
Room		(Units 105, 205 and	(See
Depth		305)	Assessment
·		,	Report)
4D-3	Master bedrooms - min area of 10m²	Compliant	Yes
Room	other bedrooms 9m² (excluding wardrobe space)	,	
Dimension	(3 3 3 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4		
S	Bedrooms to have min dimension of 3m.		
	Living rooms or combined living/dining rooms have		
	a min width of:		
	3.6m for 1 bedroom		
	4m for 2 and 3 bedroom		
	Width of cross-over or cross through apartments		
	are a least 4m internally to avoid deep narrow		
	layout.		
4E-1	• 1 bedroom = 8m ² (depth of 2m)	Compliant	Yes
Private	• 2 bedroom = 10m ² (depth of 2m)		
Open	• 3+ bedroom = 12m ² (depth of 2.4m).		
Spaces /	, , ,		
Balconies	Ground Level / Podium apartments = 15m² (depth	15m ² /3m	Yes
	of 3m)		
4G-1	• 1 bedroom = 6m ³	Acceptable areas	Condition
Storage	• 2 bedroom = 8m ³	provided.	
3 ·	• 3 bedroom = 10m ³		
	- O BOGIOOM - TOM		
	At least 50% of the required storage is to be located	30/32 apartments	
	within the apartment.	have <50% of their	
	main the apartment.	total storage located	
		III. Sicrego locatod	

	in the apartments,	
	but all apartments	
	could comply if some	
	basement storage is	
	deleted	

APPENDIX 'D'

SSDCP 2015 Compliance Table

Sutherland Shire Develo	opment Control Plan 201	5			
Chapter 19 "B3 Comme	Chapter 19 "B3 Commercial Core Cronulla"				
Centre Aims	Most redevelopment	Residential only – site not	Yes		
	expected to be mixed	identified for mixed use			
	use as shown in light	This is a reasonable outcome			
	blue on Cronulla	in the residential context of			
	Centre Strategy Map	the site at the fringe of			
	on p7, Ch 19 of DCP	Cronulla Centre			
Civil works - Shared	Eastern frontage in	Subject to detailed frontage	Conditioned		
pedestrian vehicle way	Ozone Street	design by Civil Assets			
Civil works - Street Tree	Small street trees	Subject to detailed frontage	Conditioned		
Concept	(secondary route)	design by Civil Assets /			
	along eastern and	Landscape Services			
	southern frontages				
Built form - generally	30m height limit	30m max.	Yes		
Built form – Building	Must comply with	No building envelope plan	N/A		
envelope	building envelope	specified			
	where shown				
Built form -	Minimal impact to solar	No impact to Cronulla Mall	Yes		
Overshadowing	access of Cronulla				
	Mall in mid-winter				
Built form – street	Must address the	Addresses Ozone Street	Yes		
address	street				
Built form – design	Should acknowledge	Acceptable	Yes		
	the established rhythm				
	and scale of existing				
	shopfronts / small lot				
	subdivisions in vertical				
	façade proportions				
	Built form articulated to	Acceptable level of	Yes		
	avoid large expanses	articulation to break up the			
	of unbroken wall and	massing of the building.			
	visually reduce bulk				
	Basements integrated	Basement is satisfactorily	No change		

	I		
	into architectural	integrated. Driveway walls	
	design. Driveway walls	could be treated by condition.	
	treated.		
	Ground floor	Satisfactory amenity	Yes
	residential only		
	permitted subject to		
	demonstration of		
	satisfactory amenity for		
	occupants		
Road access	With 2 or more road	Cecil Monro Avenue is a	Yes
	frontages, vehicle	lower order road	
	access from lowest		
	order road, or rear lane		
	where provided		
Built form - materials	Highly reflective wall	Appropriate materials	Yes
Duit form - materials	and roof cladding not	proposed	163
		proposed	
A l	accepted	Nie Seelege	Wa a
Amalgamation	Must not isolate lots	No isolation proposed	Yes
	Facure that	The employments distance	Voc
	Ensure that	The amalgamated lots will	Yes
	amalgamated lots	allow for a development that	
	allow for the	complies with relevant	
	development of built	setbacks including street	
	forms that make a	setback to Ozone Street and	
	positive contribution to	offers an adequate level of	
	the spatial definition of	amenity for occupants	
	the street and create		
	or maintain amenity for		
	existing and future		
	occupants		
	Ensure safe and	Basement entry point is	No change
	efficient car park and	acceptable according to	
	vehicle entry points	assessment team engineer	
	can be achieved		
Min. frontage width (if	20m for larger scale	Exceeds 50m	Yes
non-compliant with	development		
amalgamation plan)			
amalgamation plan)			

Street setbacks 4m to RFB without active street frontage E - 4m min. generally, except minor point encroachments to 3.33m S - 4.2m min. Changes in level, landscaping and building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required - setback to provide indigenous trees - can be 1.2m for large trees over basement A to P4m min. Yes No Yes Yes - No change Compliance table at Appendix C No change	Street setbacks	I 4m to RFB without	I N _ 4m min	
except minor point encroachments to 3.33m S – 4.2m min. Changes in level, landscaping and building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required — setback to provide indigenous trees — can be 1.2m for large trees over basement except minor point encroachments to 3.33m S – 4.2m min. Yes Yes – No change Yes – No change Yes – No change Compliance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern				
encroachments to 3.33m S – 4.2m min. Changes in level, landscaping and building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required — setback to provide indigenous trees — can be 1.2m for large trees over basement encroachments to 3.33m S — 4.2m min. Yes Yes — No change Yes — No change Yes — No change Compliance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		active street frontage		No
Changes in level, landscaping and building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required - setback to provide indigenous trees - can be 1.2m for large trees over basement S - 4.2m min. Yes Yes - No change Compliance table at Appendix C No change Ves - No change Refer to ADG Compliance table at Appendix C No change Ves - No change Compliance table at Appendix C No change Ves - No change			·	
Changes in level, landscaping and building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required — setback to provide indigenous trees — can be 1.2m for large trees over basement Changes in level, Acceptable privacy impacts to occupants of apartments Refer to ADG Compliance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern				
landscaping and building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required — setback to provide indigenous trees — can be 1.2m for large trees over basement Acceptable privacy impacts to occupants of apartments Refer to ADG Compliance table Compliance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern			S – 4.2m min.	Yes
building design employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required — setback to provide indigenous trees — can be 1.2m for large trees over basement to occupants of apartments Refer to ADG Compliance table Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		Changes in level,		
employed to facilitate privacy for occupants Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required — setback to provide indigenous trees — can be 1.2m for large trees over basement employed to facilitate privacy for occupants Refer to ADG Compliance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		landscaping and	Acceptable privacy impacts	Yes – No change
Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required - setback to provide indigenous trees - can be 1.2m for large trees over basement Refer to ADG Compliance table Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		building design	to occupants of apartments	
Side and rear setbacks Assessed on merit / Must be in accordance with ADG Basement setbacks Where ground floor setback required – setback to provide indigenous trees – can be 1.2m for large trees over basement Refer to ADG Compliance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		employed to facilitate		
Must be in accordance with ADG Basement setbacks Where ground floor setback required – setback to provide indigenous trees – can be 1.2m for large trees over basement Must be in accordance table at Appendix C Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		privacy for occupants		
with ADG Where ground floor setbacks required – setback to provide indigenous trees – can be 1.2m for large trees over basement with ADG Canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern	Side and rear setbacks	Assessed on merit /	Refer to ADG Compliance	Refer to ADG
Basement setbacks Where ground floor setback required – setback to provide indigenous trees – can be 1.2m for large trees over basement Where ground floor canopy tree provided in deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		Must be in accordance	table	Compliance table
setback required – setback to provide indigenous trees – can be 1.2m for large trees over basement deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern		with ADG		at Appendix C
setback required – setback to provide indigenous trees – can be 1.2m for large trees over basement deep soil at NE corner. "Planting pockets" at SE corner to allow for canopy tree planting, and one additional in the northern	Basement setbacks	Where ground floor	Canopy tree provided in	No change
indigenous trees – can corner to allow for canopy be 1.2m for large trees over basement corner to allow for canopy tree planting, and one additional in the northern		setback required –	deep soil at NE corner.	_
be 1.2m for large trees tree planting, and one over basement additional in the northern		setback to provide	"Planting pockets" at SE	
be 1.2m for large trees tree planting, and one over basement additional in the northern		indigenous trees – can	corner to allow for canopy	
over basement additional in the northern				
			, ,	
Clothes drying facilities To be provided, not 4.5 star clothes driers will be Yes	Clothes drying facilities	To be provided, not	4.5 star clothes driers will be	Yes
visible from public provided and compliance		·		
place and have access with BASIX energy targets is				
to sunlight achieved				
Adaptable units 20% of 38 units (Units 201, 301, 401, 501, Yes	Adaptable unite			Voc
<i>i.e.</i> 8 units (Ohits 201, 301, 401, 301, 1es)	Adaptable drills		`	163
			*	Vaa
Livable units 10% of 38 units (Units 105, 205, 305 and Yes	Livable units		•	res
i.e. 4 units 505)			,	
Rainwater reuse Communal RWT and No RWT is required within No but no BASIX	Rainwater reuse		•	
pump located in BASIX commitments commitment made			BASIX commitments	
common open space for RWT				
Common and Private As per the ADG Acceptable Yes	Common and Private	As per the ADG	Acceptable	Yes
Open space requirements	Open space	requirements		
Also: 6m Yes		Also:	6m	Yes
Min dimension 3m Shelter, furniture, BBQ, toilet Yes		Min dimension 3m	Shelter, furniture, BBQ, toilet	Yes
Provide shelter, and trees provided in rear		Provide shelter,	and trees provided in rear	
furniture, facilities, COS area		furniture, facilities,	COS area	
canopy trees		canopy trees		

Solar access:	Direct sun between	Refer to ADG compliance	Yes
Open space	March and September	table	
Open space Waste storage	March and September Provided for general waste and recyclables Permitted for waste trucks to reverse onto a site where it is safe to do so Waste storage rooms at ground level to be behind building setback, integrated into overall design, not compromise amenity, screened from view from the street	Waste collected from driveway Waste storage room in basement. Temporary holding area in setback currently screened from view	No change
Car parking	Residential: Min. 1 space per unit (i.e. 38 spaces) Max 2 spaces per unit (i.e. 76 spaces) Residential visitor:	70 residential spaces subject to conditions of consent 2 shared car wash bay/	Yes
	No visitor parking No car wash bays required	visitor spaces provided	
Motorbike parking	1 motorbike space per 25 car spaces or part thereof = 3 spaces	3 spaces	Yes
Bicycle parking	1 space per 10 car parking spaces for first 200 car spaces = 7 spaces	6 spaces	Yes
Vehicles manoeuvring	All vehicles must enter and exit site in a forward direction	Yes apart from garbage truck which is acceptable to reverse onto street	Yes
Loading areas	Avoid on-street loading Freely available at all times	Furniture removal trucks can also utilise the waste collection area in the	Conditioned with limited times

	driveway – signage to be	
	provided	

GENERAL NOTES:

- ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
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5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

SP 545, SP 9336, SP 48254



DRAWING LIST

DA 000	COVER PAGE	DA 111	LEVEL 8 PLAN	DA 410	PERSPECTIVE VIEWS	DA 610	SOLAR ACCESS DIAGRAM
DA 001	SITE ANALYSIS PLAN	DA 112	ROOF TERRACE PLAN	DA 411	PERSPECTIVE VIEWS	DA 611	SOLAR ACCESS DIAGRAM
		DA 113	ROOF PLAN				
DA 100	BASEMENT 3 PLAN			DA 500	FSR DIAGRAM		
DA 101	BASEMENT 2 PLAN	DA 200	ELEVATIONS 01	DA 501	CROSS VENTILATION DIAGRAM		
DA 102	BASEMENT 1 PLAN	DA 201	ELEVATIONS 02	DA 502	DA 502 STORAGE DIAGRAM		
DA 103	GROUND FLOOR PLAN	DA 202	ELEVATIONS 03	DA 503	VIEW IMPACT ANALYSIS		
DA 104	LEVEL 1 PLAN	DA 203	ELEVATIONS 04				
DA 105	LEVEL 2 PLAN			DA 600	ADAPTABLE UNIT		
DA 106	LEVEL 3 PLAN	DA 300	SECTION A	DA 601	ADAPTABLE UNIT		
DA 107	LEVEL 4 PLAN	DA 301	SECTION B	DA 602	ADAPTABLE UNIT		
DA 108	LEVEL 5 PLAN			DA 603	LIVABLE UNIT		
DA 109	LEVEL 6 PLAN	DA 400	MATERIAL FINISHES				

REA	SCHEDU	JLE

Level	Unit.No	Туре	Adaptable	Livable	Internal Area (m2)	Terrace/ Balcony (m2)	Storage Compliance	Storage within Apartment (m3)	Min. Carpark Storage (m3)	Total Storage Provided (m3)
	G01	2 BED + S			84	26	Υ	4.2	5.0	9.2
	G02	2 BED			81	19	Υ	4.1	5.0	9.1
GROUND FLOOR	G03	1 BED			57	15	Υ	3.3	5.0	8.3
GROUND FLOOR	G04	3 BED			118	53	Y	5.6	5.0	10.6
	G05	1 BED			58	18	Υ	3.0	5.0	8.0
	101	3 BED			103	20	Υ	5.4	5.0	10.4
	102	2 BED			80	13	Υ	4.1	5.0	9.1
LEVEL 1	103	1 BED			57	8	Υ	3.3	5.0	8.3
	104	3 BED			118	37	Υ	5.6	5.0	10.6
	105	2 BED		√	86	18	Υ	5.4	5.0	10.4
	201	2 BED + S	✓		128	24) Y	9.2	5.0	14.2
	202	2 BED			80	13	Υ	4.1	5.0	9.1
LEVEL 2	203	2 BED			81	16	Υ	5.3	5.0	10.3
	204	3 BED			118	38	Υ	5.6	5.0	10.6
	205	2 BED		✓	86	18	Υ	5.4	5.0	10.4
	301	2 BED + S	√		128 (24) Y	9.2	5.0	14.2
	302	2 BED			80	13	Υ	4.1	5.0	9.1
LEVEL 3	303	2 BED			81	16	Υ	5.3	5.0	10.3
	304	3 BED			118	38	Υ	5.6	5.0	10.6
	305	2 BED		✓	86	18	Υ	5.4	5.0	10.4
	401	2 BED + S	√		128 (24	Y	9.2	5.0	14.2
	402	2 BED			80	13	Υ	4.1	5.0	9.1
LEVEL 4	403	2 BED			81	16	Υ	5.3	5.0	10.3
	404	1 BED			50	18	Υ	4.2	5.0	9.2
	405	3 BED			152	43	Υ	18.1	5.0	23.1
	501	2 BED + S	√		128	24	Y	9.2	5.0	14.2
	502	2 BED			80	13	Y	4.2	5.0	9.2
LEVEL 5	503	2 BED			81	16	Y	5.2	5.0	10.2
	504	3 BED			118	38	Y	5.7	5.0	10.7
	505	2 BED		✓	86	18	Y	5.4	5.0	10.4
	601	2 BED + S	√	-	156	33	Y	12.9	5.0	17.9
LEVEL 6	602	3 BED + 3	✓		151	52	Y	7.6	5.0	12.6
	603	3 BED	•		186	60	Y	14.9	5.0	19.9
	701	2 BED + S	✓		156 (33	Y	12.9	5.0	17.9
EVEL 7	701	3 BED + S	∨		150	52) Y Y	7.6		17.9
LEVEL 7			V				Y		5.0	
	703	3 BED			186	60		14.9	5.0	19.9
LEVEL 8	801	3 BED			250	298	Y	17.2	27.8	45.0
	802	3 BED			213	276	Υ	8.5	27.8	36.3

Site Area 1592 m²

FSR (Proposed) 3:1 FSR (SSLEP 2015) 3:1

Unit mix 4 x 1 bed 14 x 2 bed 7 x 2 bed + S 13 x 3 bed

Car Parking (Proposed) 74 car spaces (excl. 2 carwash bay) Car Parking (SSDCP 2015) min. 1 space per unit = 38 spaces

Total

max. 2 spaces per unit = 76 spaces 1 carwash bay per 20 dwellings

38 units

71% Solar Access (Proposed) Solar Access (ADG - min.) 70%

Cross Ventilation (Proposed) 61% Cross Ventilation (ADG - min.) 60%

SECTION 4.56 DRAWINGS

DA 110 LEVEL 7 PLAN

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			
В	16.03.2020	ISSUE FOR REVIEW			
С	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			
D	19.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			
E	27.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			

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COVER SHEET

ISSUE: E

JOB No. 1922

ABN 36 147 035 550

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GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

LEGEND:

OUTLINE OF APPROVED BUILDING ENVELOPE

OUTLINE OF APPROVED BUILDING GLAZING LINE

FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL OPAQUE WINDOW

PRIVACY SCREEN TO FUTURE DETAILS

BOLLARD

LEGEND:

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ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE

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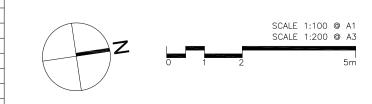


5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING

DATE DESCRIPTION DESCRIPTION 11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION 16.03.2020 ISSUE FOR REVIEW 18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION 16.04.2020 REVISED PLANS WITH SETBACK DIMENSIONS



BASEMENT 3 PLAN

ISSUE: D

S4.56_DA100

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GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)

ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL

OUTLINE OF APPROVED BUILDING ENVELOPE

LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

LEGEND:

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE

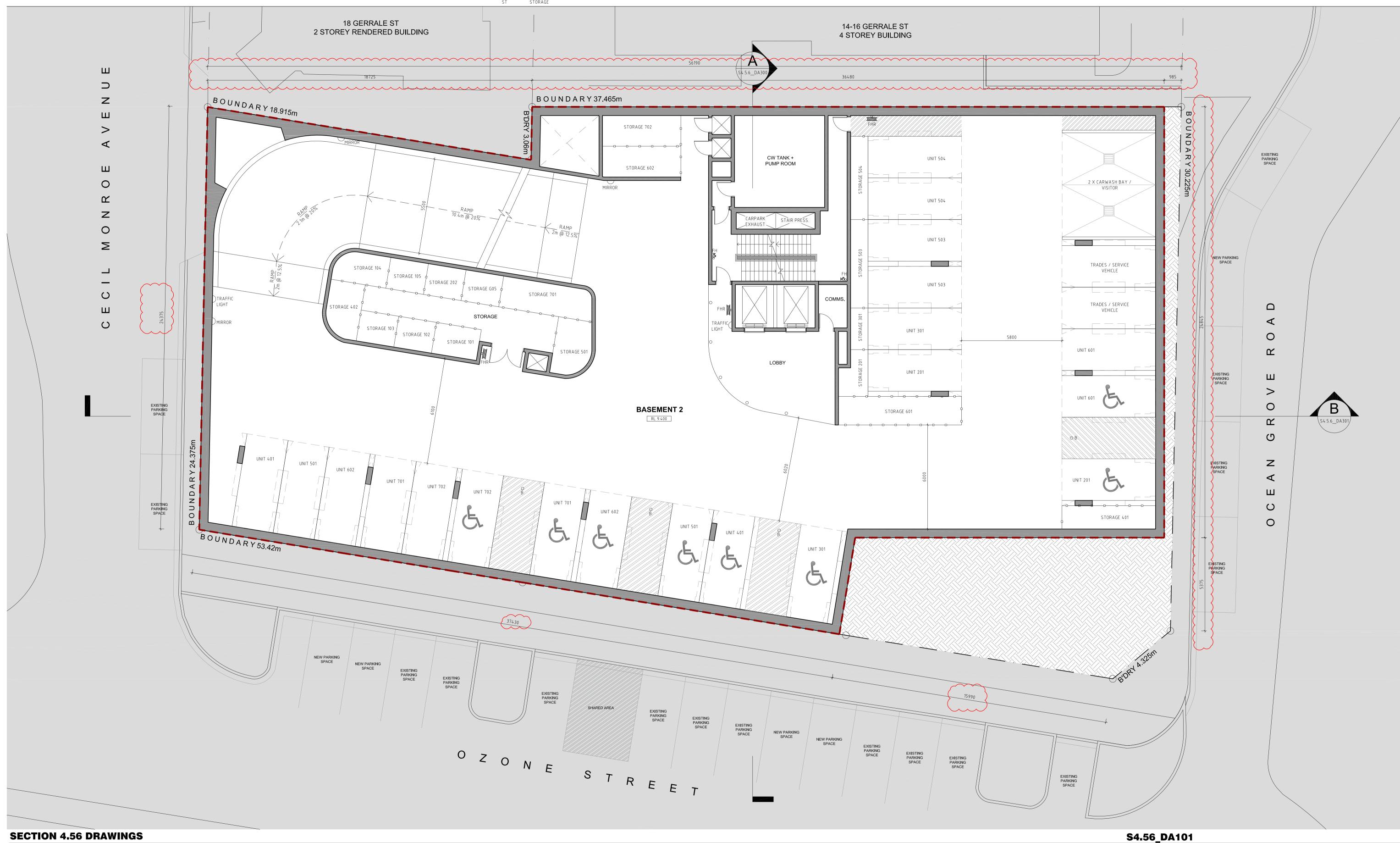
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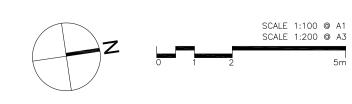
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NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT STORAGE



PROJECT:	ISSUE	DATE	DESCRIPTION	ISSUE
PROPOSED RESIDENTIAL FLAT BUILDING	Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION	
FRUFUSED RESIDENTIAL LEAT DUILDING	В	16.03.2020	ISSUE FOR REVIEW	
5, 7 & 9 OZONE STREET, CRONULLA NSW 2230	С	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION	
,	D	16.04.2020	REVISED PLANS WITH SETBACK DIMENSIONS	
SP 545, SP 9336, SP 48254				
CLIENT: OZONE CRONULLA PTY LTD				
OLICITI. OZGINE GITGINGLERT IT ETD				



BASEMENT 2 PLAN

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DESCRIPTION

- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE
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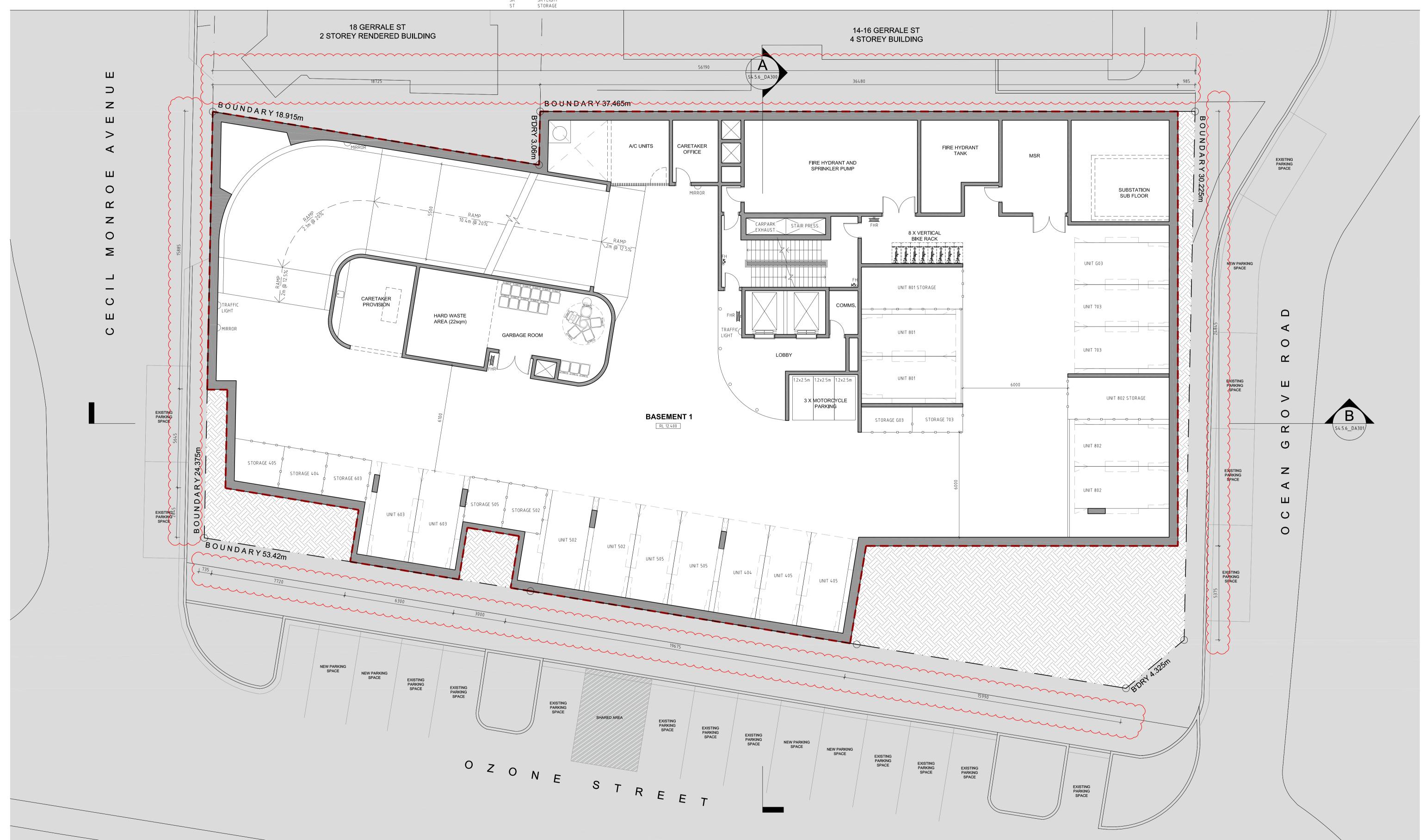
LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE

LEGEND:

HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT



CLIENT: OZONE CRONULLA PTY LTD SSPP (Sydney South) Report Appendices (PPSSSH-10)

SP 545, SP 9336, SP 48254

SECTION 4.56 DRAWINGS

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

PROPOSED RESIDENTIAL FLAT BUILDING

DATE

11.09.2019

DESCRIPTION

18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

16.04.2020 REVISED PLANS WITH SETBACK DIMENSIONS

16.03.2020 ISSUE FOR REVIEW

ISSUE FOR SECTION 4.56 SUBMISSION

ISSUE

DATE

DESCRIPTION

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ISSUE: D

BASEMENT 1 PLAN

- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE
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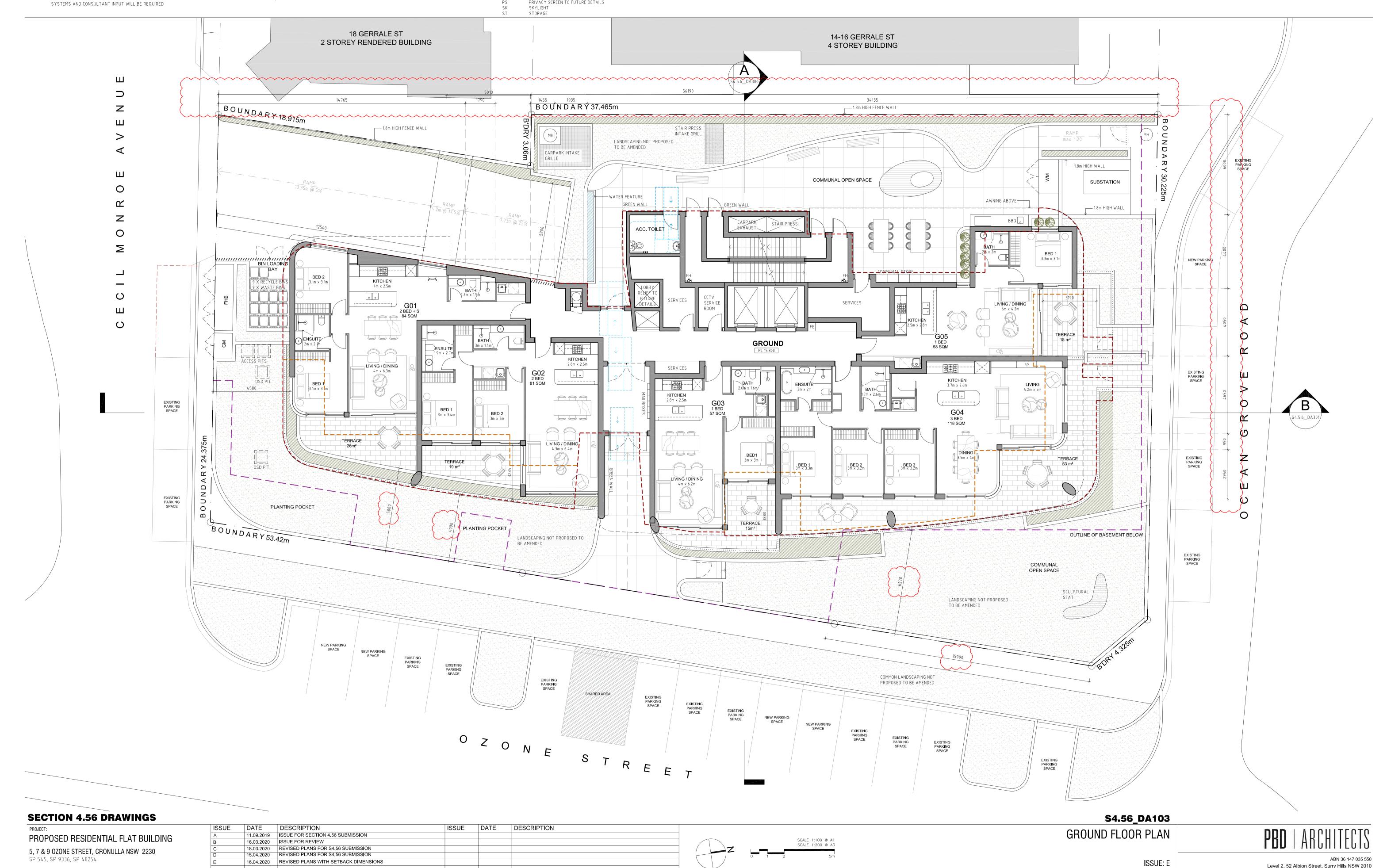
LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS

BOLLARD

LEGEND:



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OUTLINE OF APPROVED BUILDING ENVELOPE

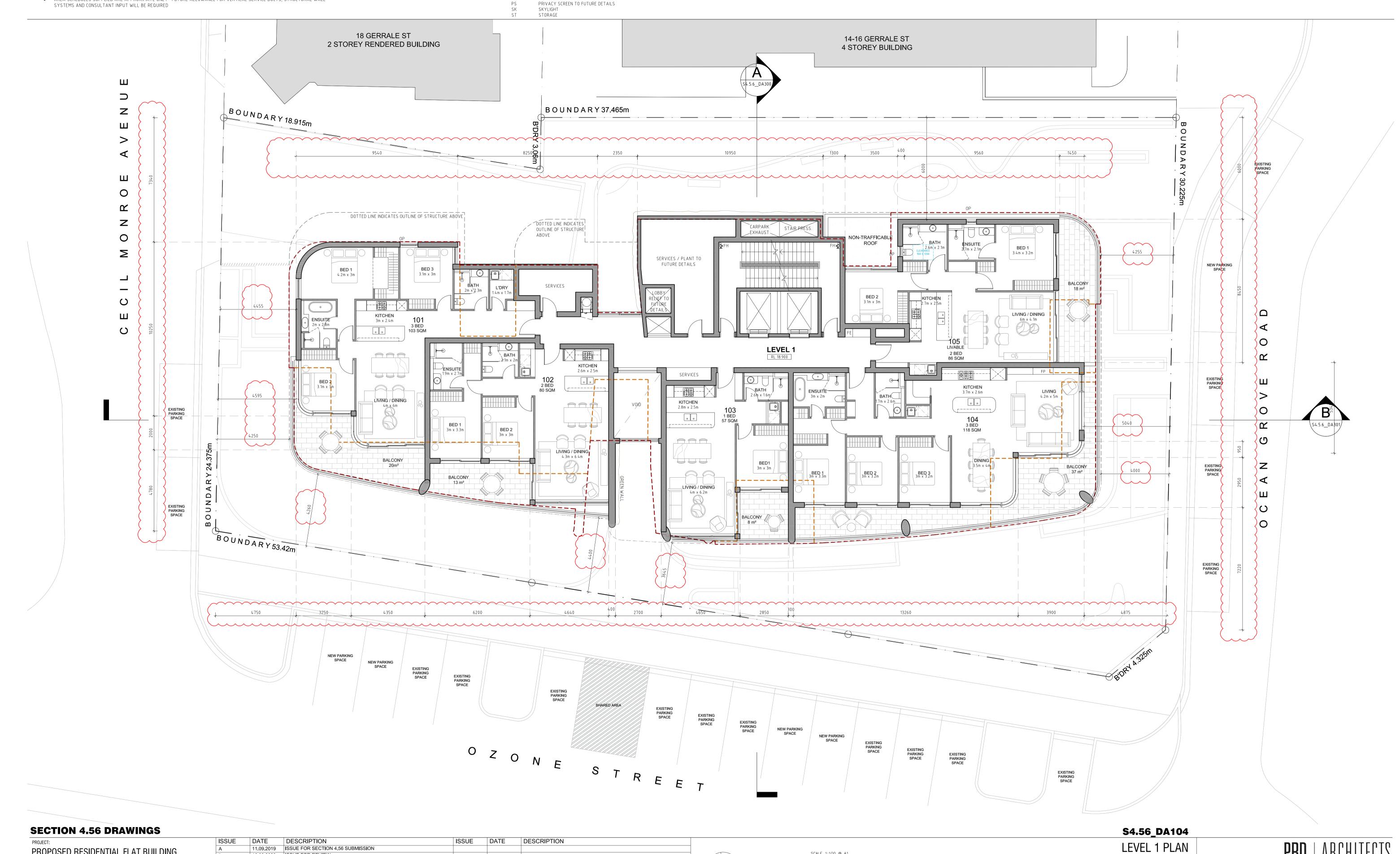
LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL

OPAQUE WINDOW

LEGEND:



SSPP (Sydney South) Report Appendices (PPSSSH-10)

CLIENT: OZONE CRONULLA PTY LTD

SP 545, SP 9336, SP 48254

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

16.03.2020 ISSUE FOR REVIEW

18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

15.04.2020 REVISED PLANS FOR S4.56 SUBMISSION

16,04,2020 REVISED PLANS WITH SETBACK DIMENSIONS

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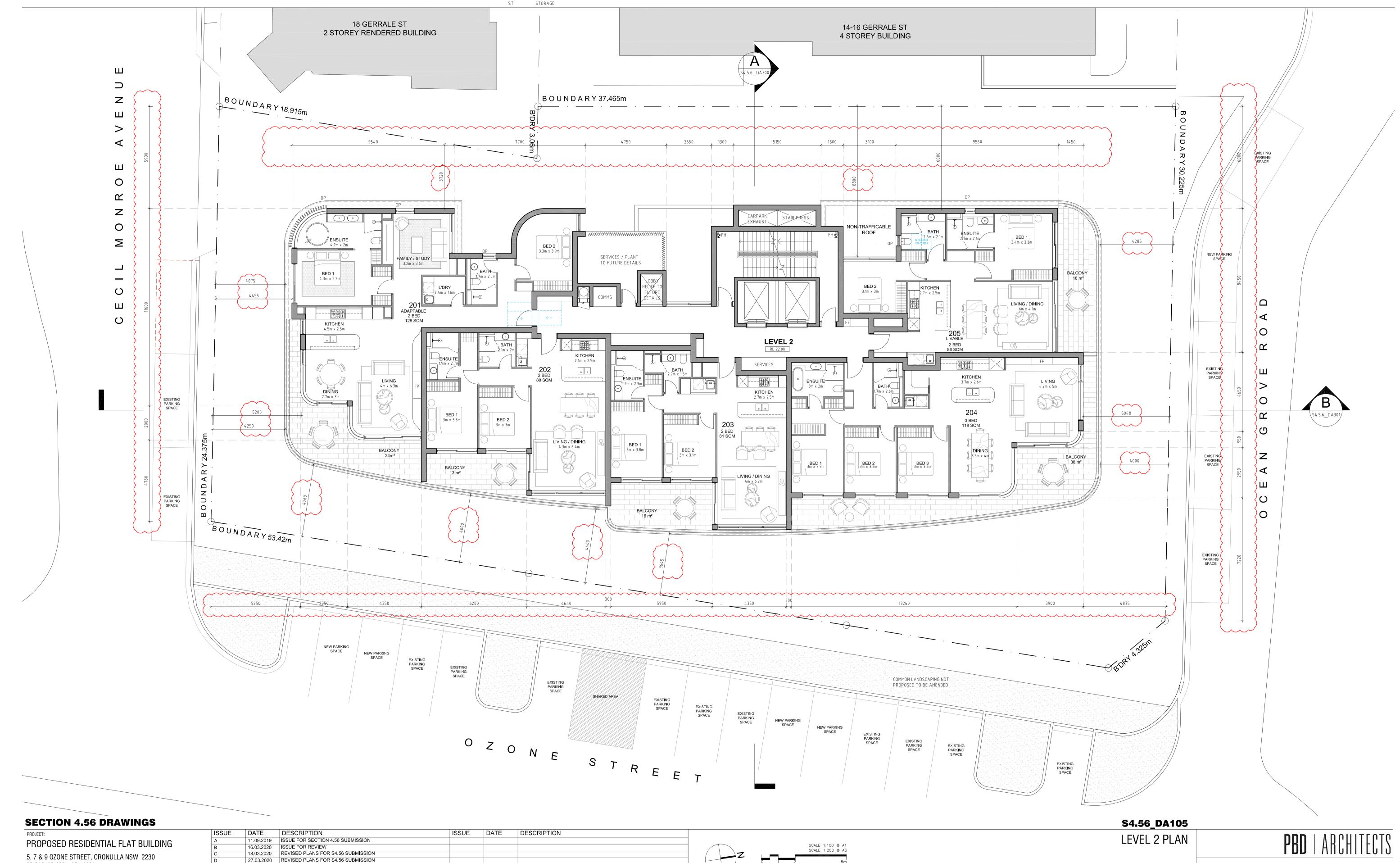
16,04,2020 REVISED PLANS WITH SETBACK DIMENSIONS

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE

LEGEND:

HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT



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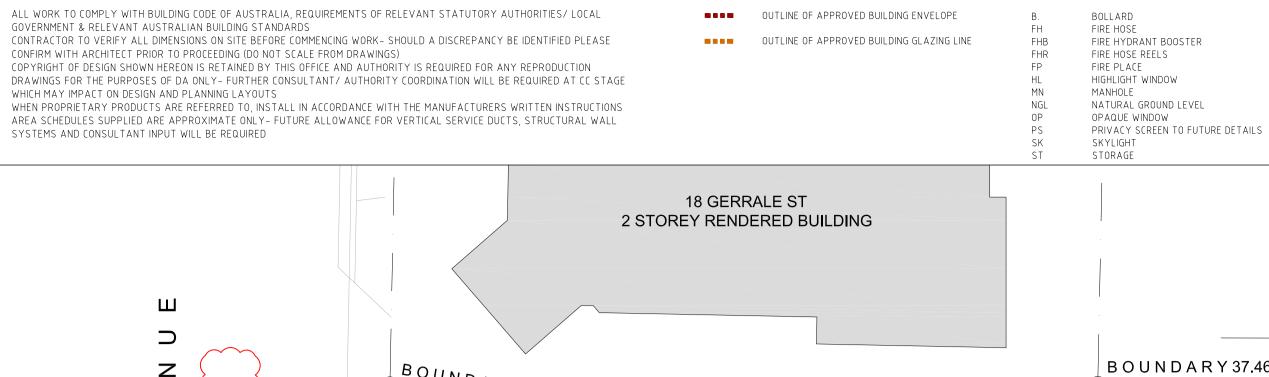
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LEGEND:

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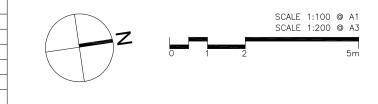


SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			
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С	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			
D	27.03.2020	REVISED PLANS FOR S4,56 SUBMISSION			
E	16.04.2020	REVISED PLANS WITH SETBACK DIMENSIONS			



S4.56_DA106 LEVEL 3 PLAN

ISSUE: E

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OUTLINE OF APPROVED BUILDING ENVELOPE

LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE

LEGEND:

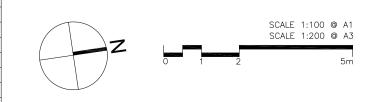
NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT STORAGE



SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD DATE DESCRIPTION DATE DESCRIPTION ISSUE 11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION 16.03.2020 ISSUE FOR REVIEW 18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION 27.03.2020 REVISED PLANS FOR S4.56 SUBMISSION 16.04.2020 REVISED PLANS WITH SETBACK DIMENSIONS



LEVEL 4 PLAN

ISSUE: E

S4.56_DA107

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OUTLINE OF APPROVED BUILDING ENVELOPE

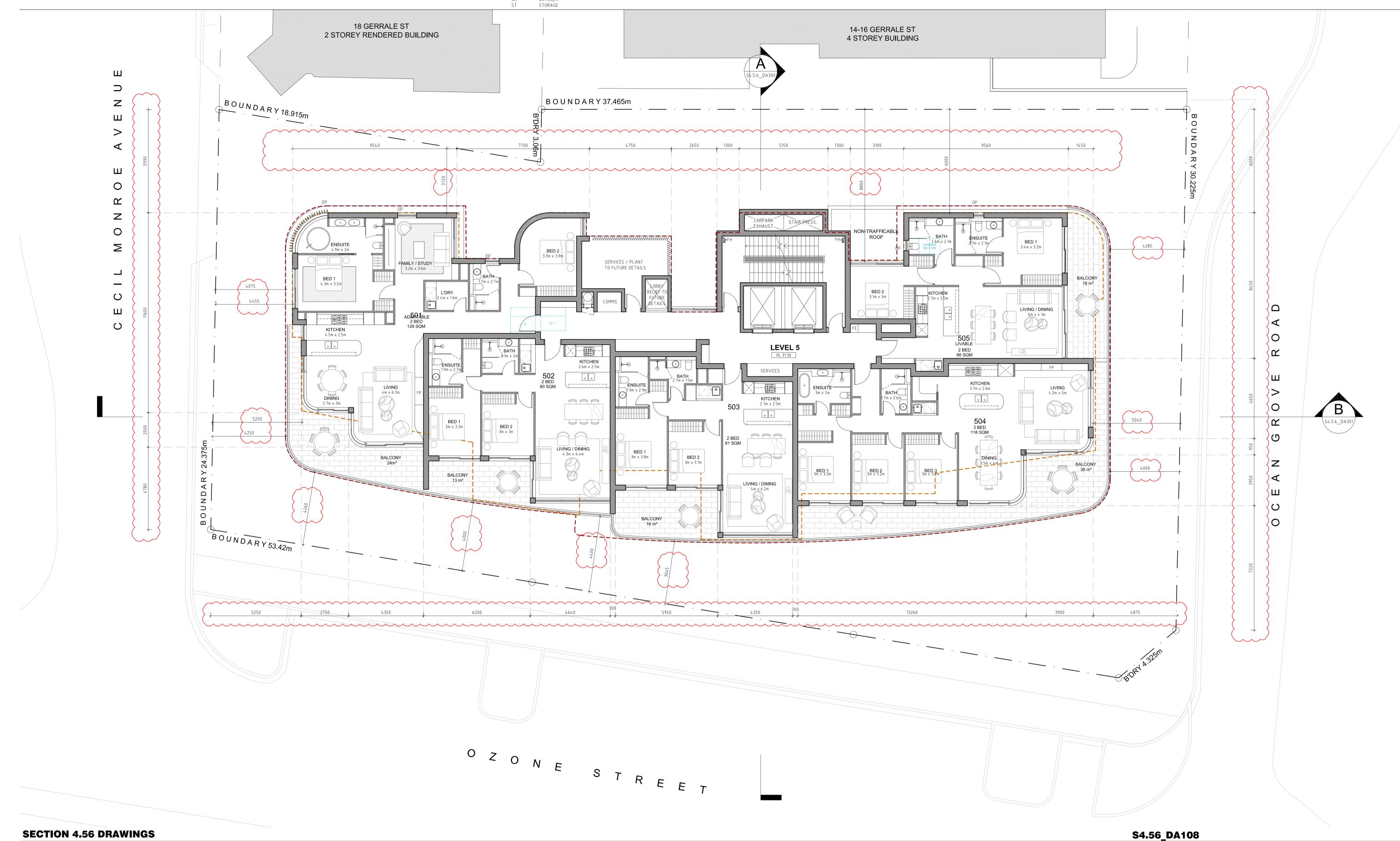
OUTLINE OF APPROVED BUILDING GLAZING LINE FIRE HYDRANT BOOSTER

LEGEND:

FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT

BOLLARD

FIRE HOSE



SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

DATE

DESCRIPTION

16.03.2020 ISSUE FOR REVIEW

11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION

18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

27.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

16,04,2020 REVISED PLANS WITH SETBACK DIMENSIONS

SSPP (Sydney South) Report Appendices (PPSSSH-10)

DATE

ISSUE

DESCRIPTION

PBD | ARCHITECTS

Level 2, 52 Albion Street, Surry Hills NSW 2010

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LEVEL 5 PLAN

ISSUE: E

- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
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OUTLINE OF APPROVED BUILDING ENVELOPE

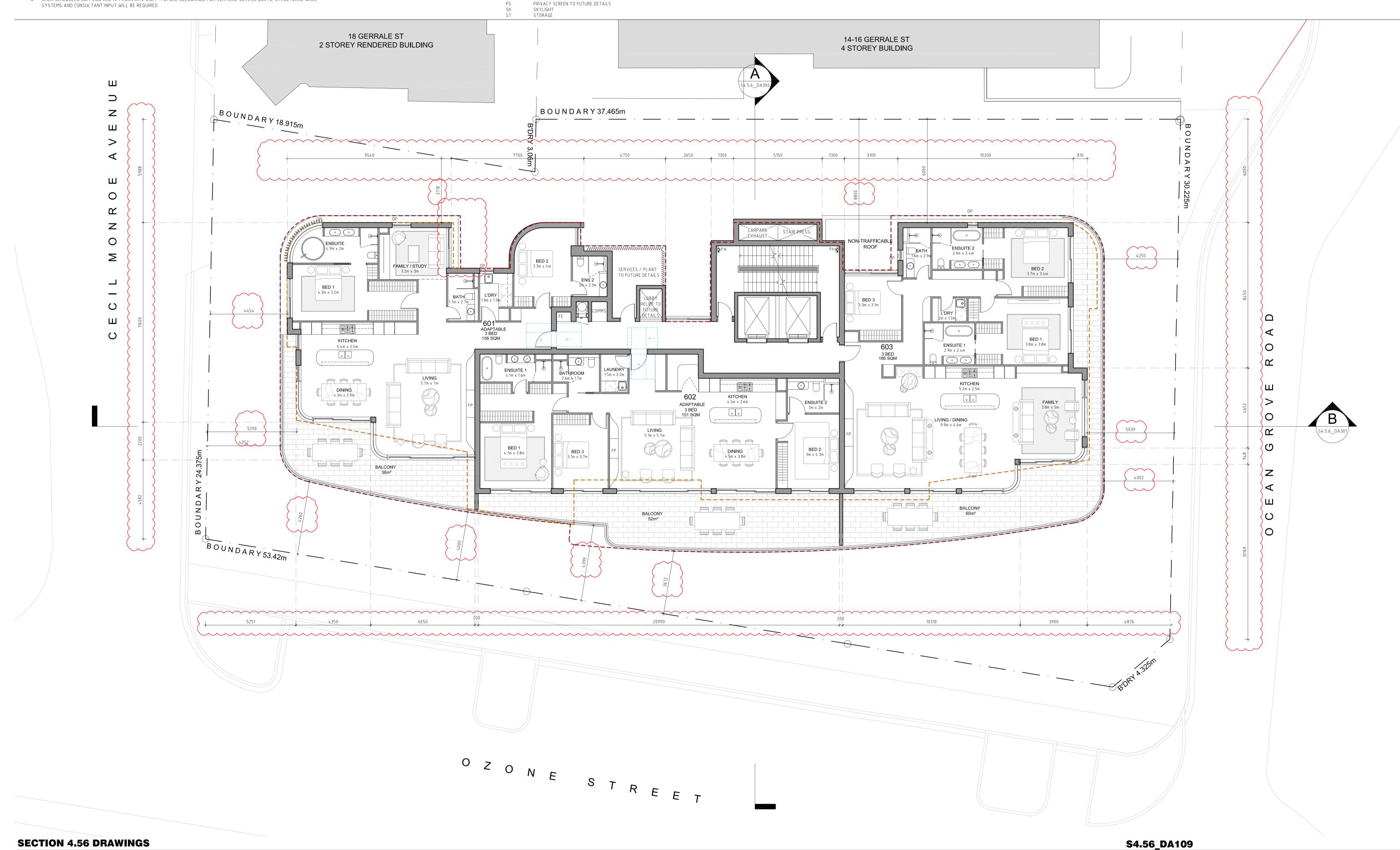
LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL

OPAQUE WINDOW

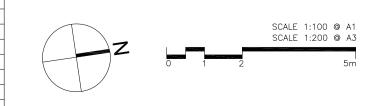
LEGEND:



PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

CLIENT: OZONE CRONULLA PTY LTD

DATE DESCRIPTION DATE DESCRIPTION ISSUE 11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION 16.03.2020 ISSUE FOR REVIEW 18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION 27.03.2020 REVISED PLANS FOR S4.56 SUBMISSION 16,04,2020 REVISED PLANS WITH SETBACK DIMENSIONS



LEVEL 6 PLAN

ISSUE: E

PBD | ARCHITECTS Level 2, 52 Albion Street, Surry Hills NSW 2010

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- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
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OUTLINE OF APPROVED BUILDING ENVELOPE

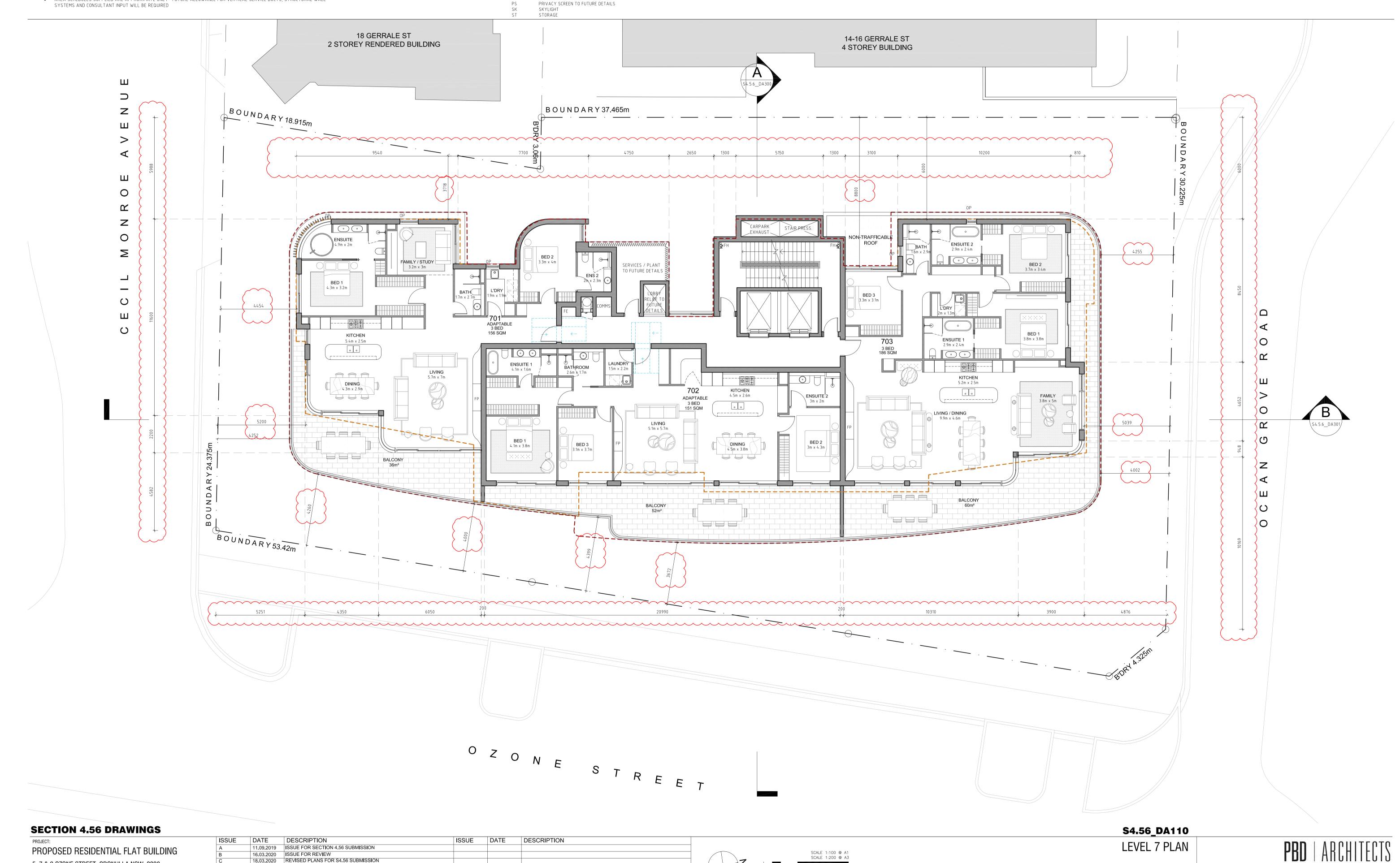
LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL

OPAQUE WINDOW

LEGEND:



SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

SSPP (Sydney South) Report Appendices (PPSSSH-10)

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

16.03.2020 ISSUE FOR REVIEW

18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

27.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

16,04,2020 REVISED PLANS WITH SETBACK DIMENSIONS

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ISSUE: E

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OUTLINE OF APPROVED BUILDING ENVELOPE

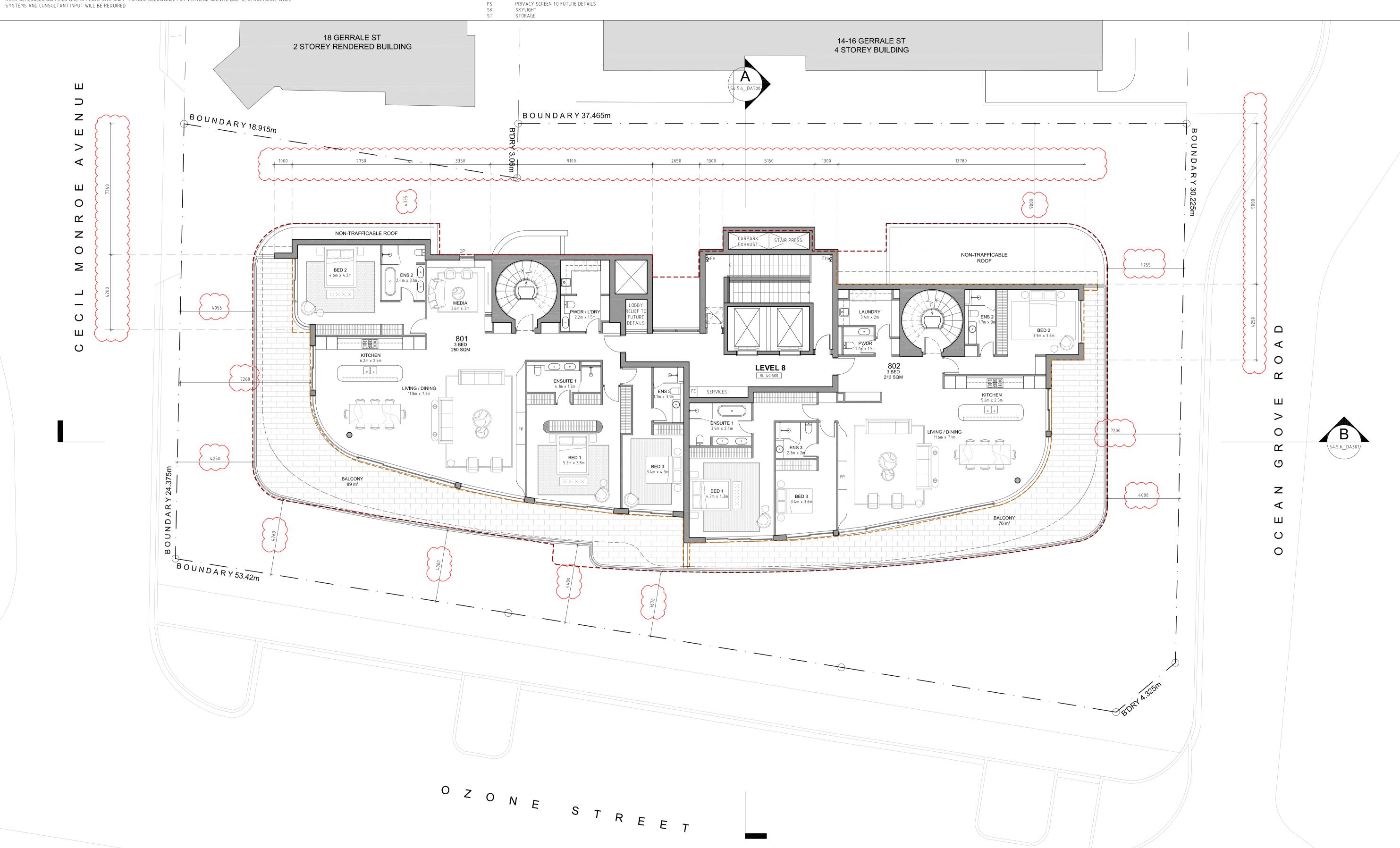
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■■■■ OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL

OPAQUE WINDOW

LEGEND:

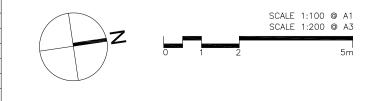


SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

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D		REVISED PLANS FOR S4.56 SUBMISSION			
E	27.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			
F	16.04.2020	REVISED PLANS WITH SETBACK DIMENSIONS	-		



S4.56_DA111 LEVEL 8 PLAN

ISSUE: F

- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
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OUTLINE OF APPROVED BUILDING ENVELOPE

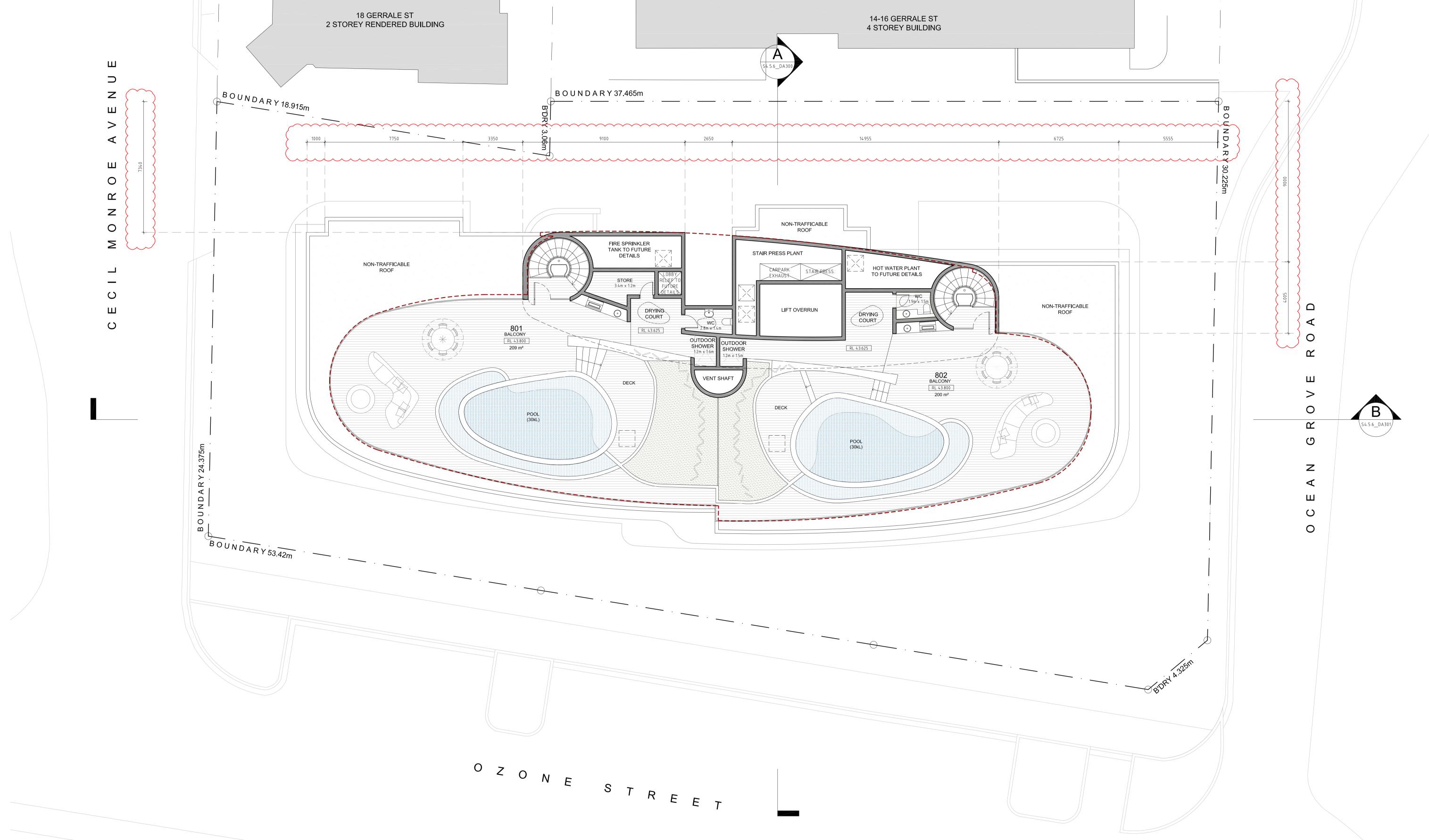
LEGEND:

OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE

LEGEND:

NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT STORAGE

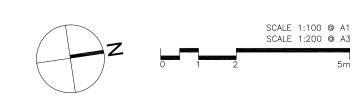


SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

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ROOF TERRACE PLAN

ISSUE: D

S4.56_DA112

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SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED

ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/LOCAL

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OUTLINE OF APPROVED BUILDING ENVELOPE

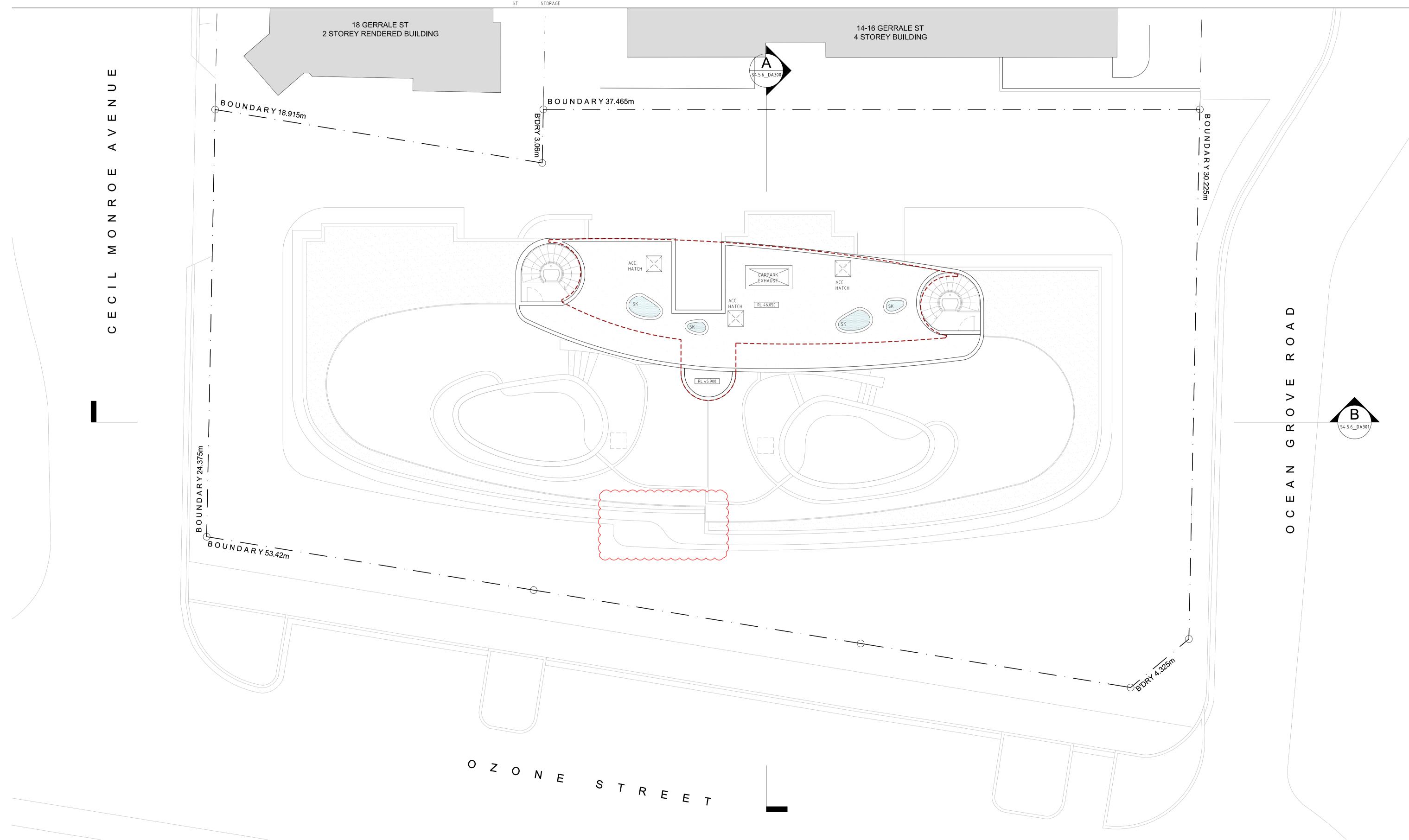
LEGEND:

■■■■ OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS

LEGEND:

FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT

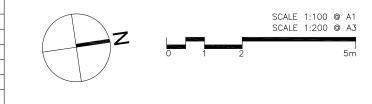


SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

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ROOF PLAN ISSUE: C

S4.56_DA113

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GENERAL NOTES:

- ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/LOCAL
- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE
- CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)

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 DRAWINGS FOR THE PURPOSES OF DA ONLY FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STA
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LEGEND:

OUTLINE OF APPROVED BUILDING ENVELOPE

OUTLINE OF APPROVED BUILDING GLAZING LINE

B. BOLLARD
FH FIRE HOSE
FHB FIRE HYDRANT BOOSTER
FHR FIRE HOSE REELS
FP FIRE PLACE
HL HIGHLIGHT WINDOW
MN MANHOLE
NGL NATURAL GROUND LEVEL

OPAQUE WINDOW

SKYLIGHT STORAGE

PRIVACY SCREEN TO FUTURE DETAILS



SCALE 1:100 @ A1 SCALE 1:200 @ A3

PROPOSED RESIDENTIAL FLAT BUILDING

SECTION 4.56 DRAWINGS

S4.56_DA200

EAST ELEVATION
OZONE STREET

ISSUE: B

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ABN 36 147 035 550

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GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS

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• DRAWINGS FOR THE DURDOSES OF DA ONLY CHARLES CONSULTANT! AUTHORITY CORDINATION AND A DESCRIPTION AT SCIENCE.

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LEGEND:

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OUTLINE OF APPROVED BUILDING GLAZING LINE

B. BOLLARD
FH FIRE HOSE
FHB FIRE HYDRANT BOOSTER
FHR FIRE HOSE REELS
FP FIRE PLACE
HL HIGHLIGHT WINDOW
MN MANHOLE
NGL NATURAL GROUND LEVEL
OP OPAQUE WINDOW
PS PRIVACY SCREEN TO FUTURE DETAILS

SKYLIGHT STORAGE



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LEGEND:

- OUTLINE OF APPROVED BUILDING ENVELOPE OUTLINE OF APPROVED BUILDING GLAZING LINE

BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE NATURAL GROUND LEVEL

OPAQUE WINDOW

SKYLIGHT STORAGE

PRIVACY SCREEN TO FUTURE DETAILS

LEGEND:



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BOLLARD FIRE HOSE FIRE HYDRANT BOOSTER FIRE HOSE REELS FIRE PLACE HIGHLIGHT WINDOW MANHOLE

LEGEND:

NATURAL GROUND LEVEL OPAQUE WINDOW PRIVACY SCREEN TO FUTURE DETAILS SKYLIGHT STORAGE



SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

DATE DESCRIPTION DATE DESCRIPTION 11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION 18.03.2020 REVISED PLANS FOR S4.56 SUBMISSION

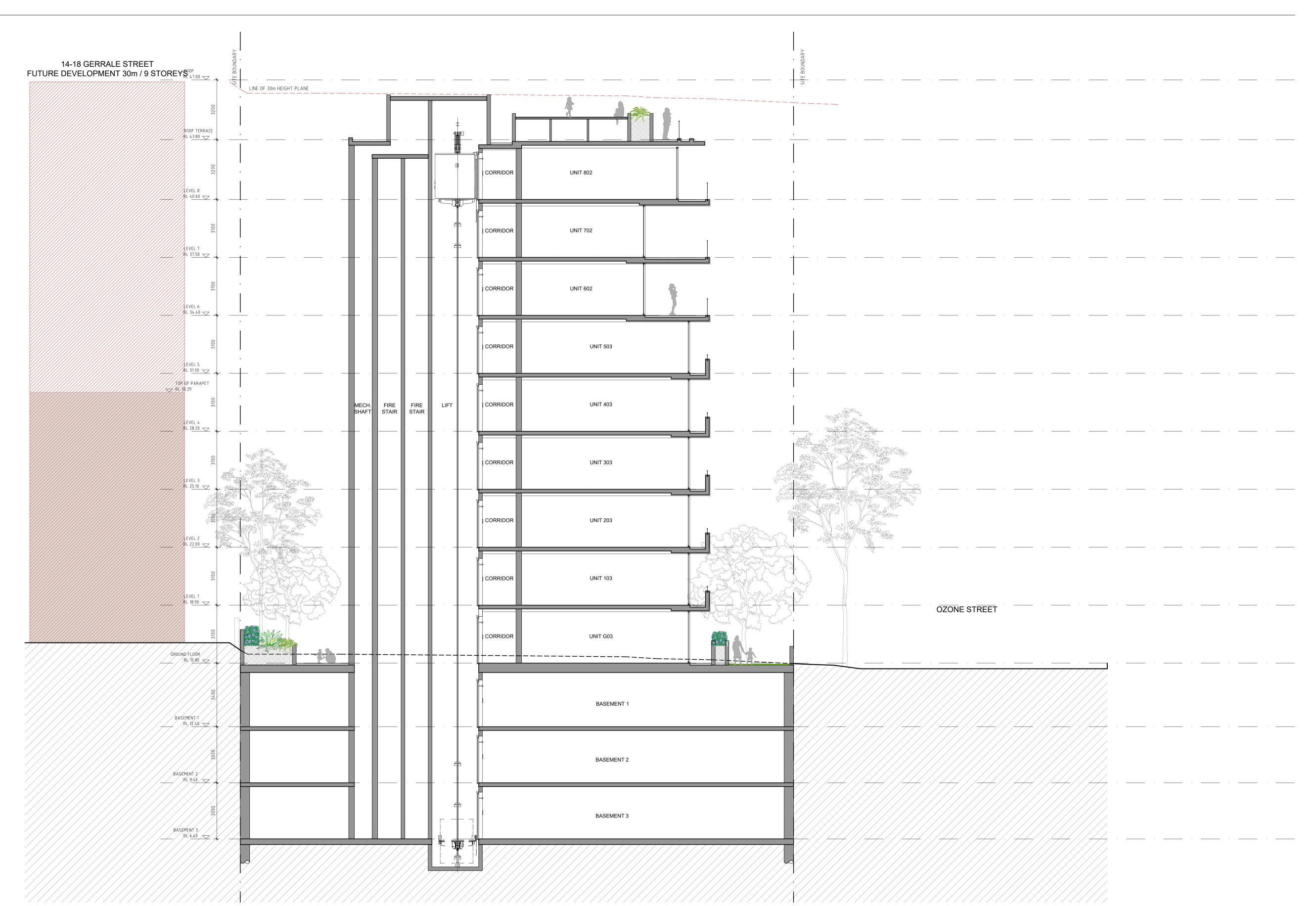
NORTH ELEVATION OCEAN GROOVE RD

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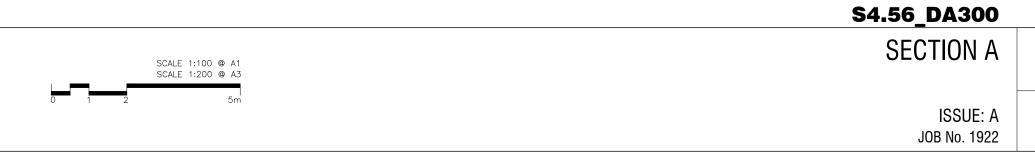
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SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			



ISSUE: A

JOB No. 1922

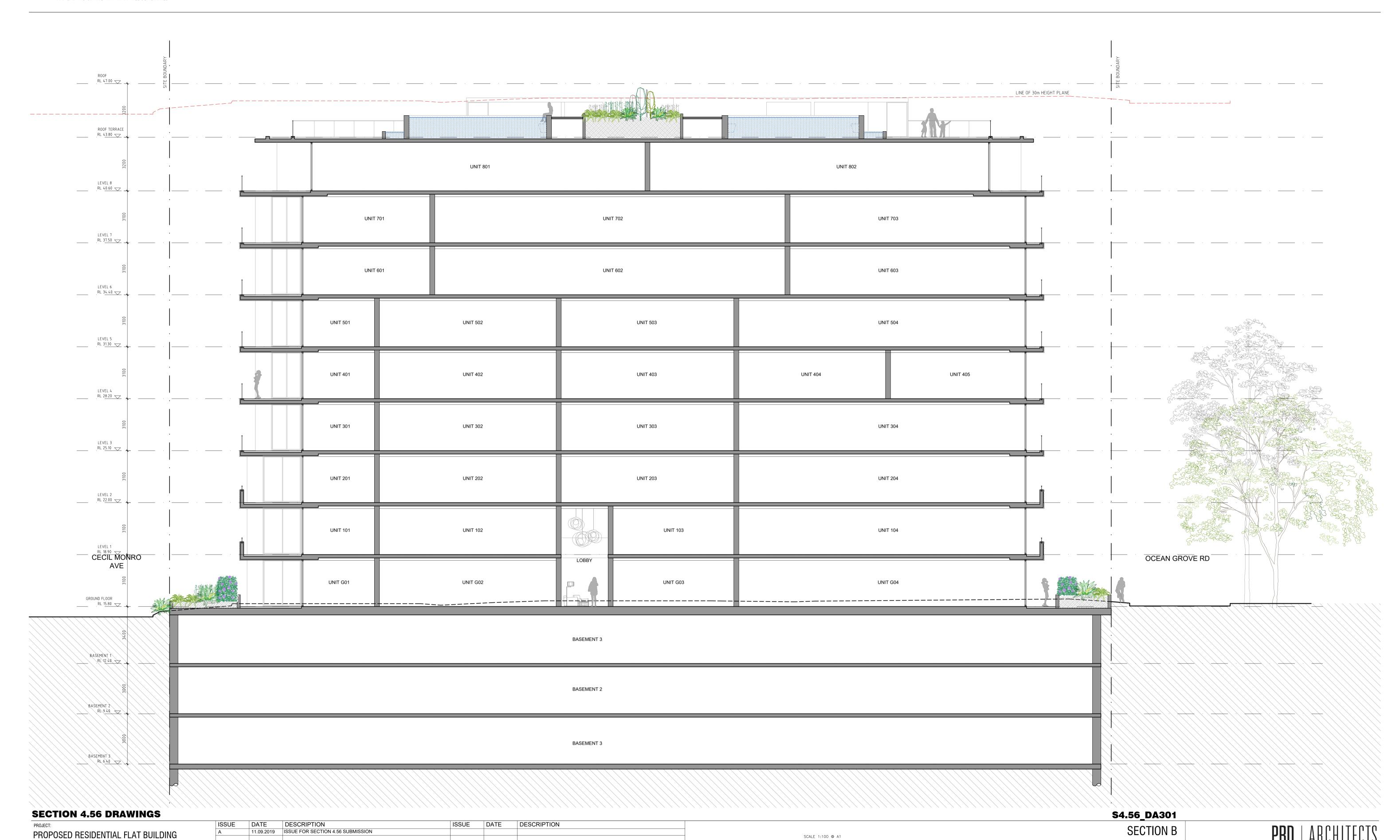
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CLIENT: OZONE CRONULLA PTY LTD

SP 545, SP 9336, SP 48254

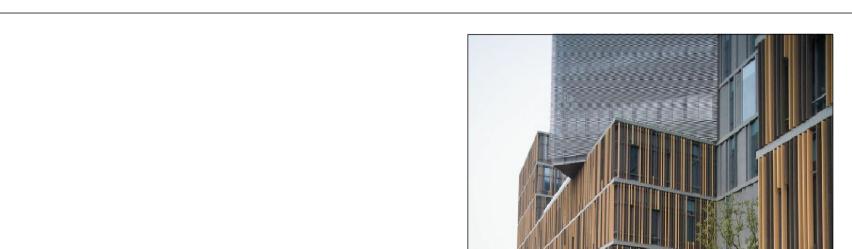
5, 7 & 9 OZONE STREET, CRONULLA NSW 2230

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ISSUE: A

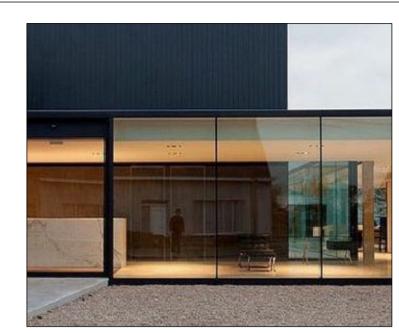
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ALUMINIUM PRIVACY SCREEN



ALUMINIUM FRAMED GLAZING DULUX DURATEC ETERNITY CHARCOAL PEARL SATIN OR SIMILAR



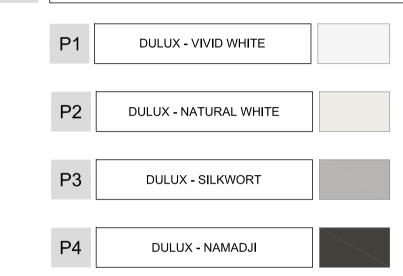




METAL CLADDING



PAINT FINISH

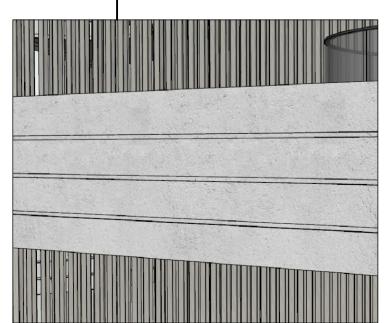






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OFF-FORM CONCRETE WITH GROOVELINES

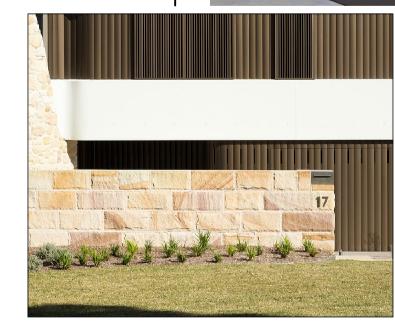
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OFF-FORM CONCRETE WITH CONCRETE STAIN



FLUTED CONCRETE WALL PAINT FINISH TO PT1



SANDSTONE CLADDING

SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

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PC

S4.56_DA400

MATERIAL FINISHES

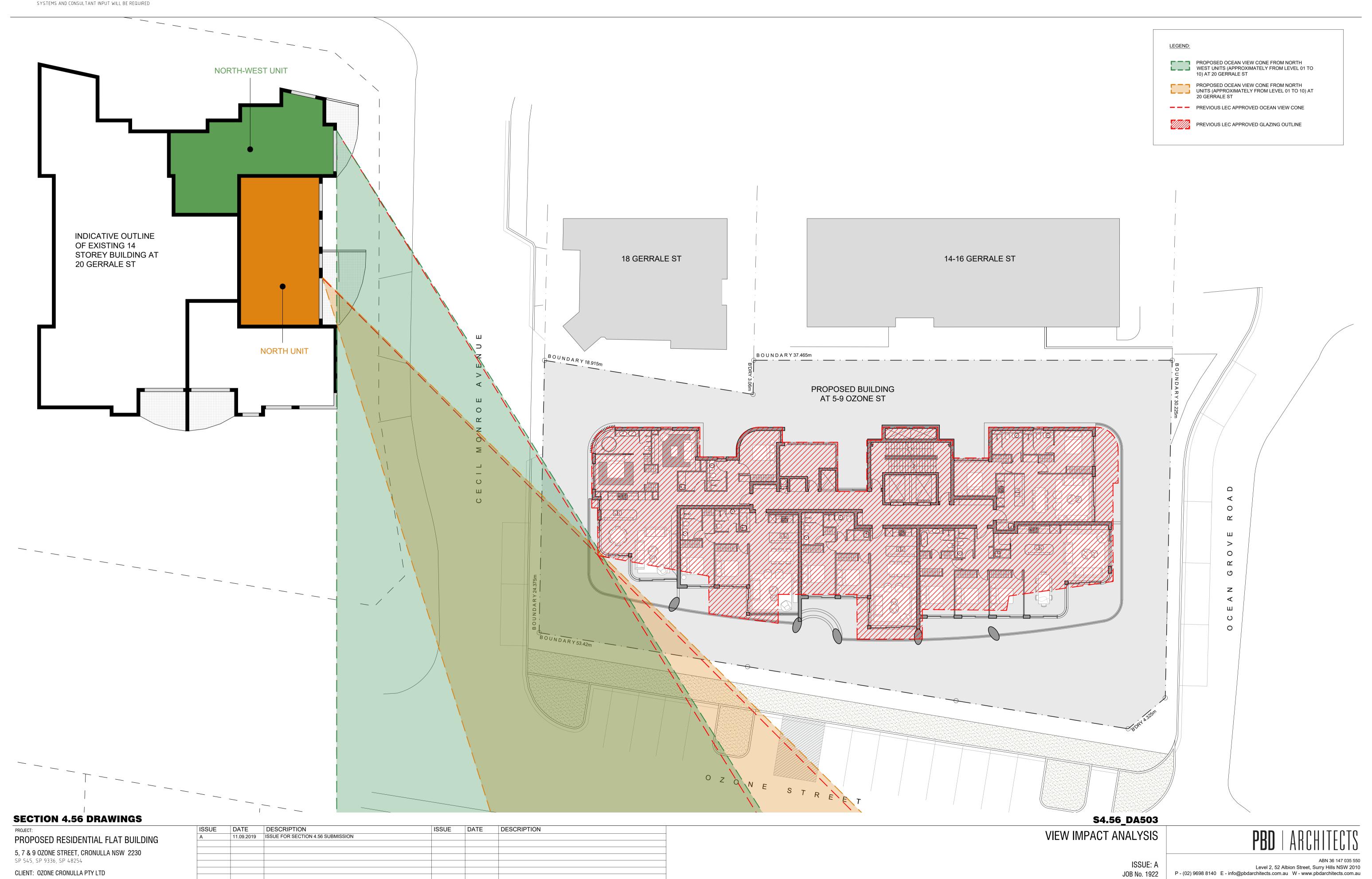
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CLIENT: OZONE CRONULLA PTY LTD

OFC1

- ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/LOCAL
- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE
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SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING **5, 7 & 9 OZONE STREET, CRONULLA NSW 2230** SP 545, SP 9336, SP 48254

CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			
В	19.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			

S4.56_DA410

PERSPECTIVE VIEW

ISSUE: B

JOB No. 1922

ABN 36 147 035 550

Level 2, 52 Albion Street, Surry Hills NSW 2010

P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

- ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/ LOCAL GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS
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PERSPECTIVE VIEW FROM CECIL MONROE AVE

CLIENT: OZONE CRONULLA PTY LTD

SECTION 4.56 DRAWINGS
PROJECT:
PROPOSED RESIDENTIAL FLAT BUILDING
5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

ISSU	JE DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			
В	16.03.2020	ISSUE FOR REVIEW			
С	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			

\$4.56_DA411

PERSPECTIVE VIEW

ISSUE: C

JOB No. 1922

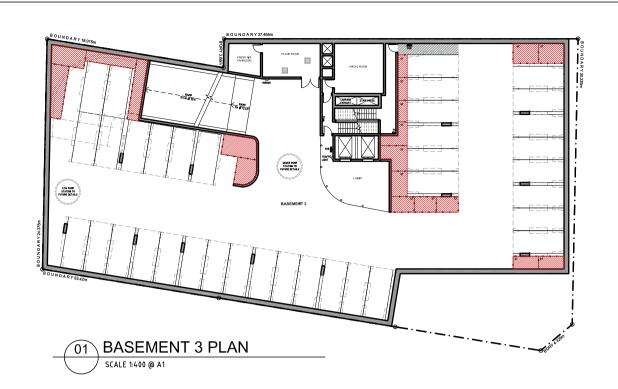
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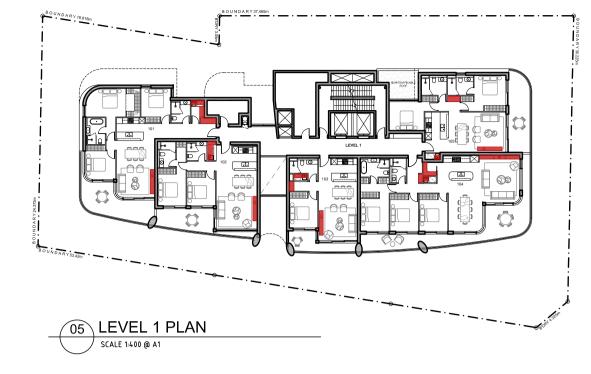
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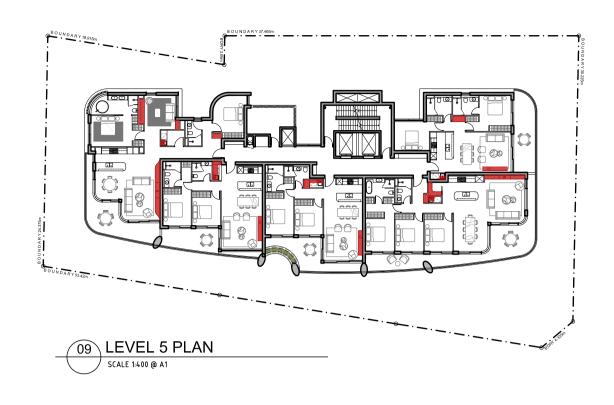
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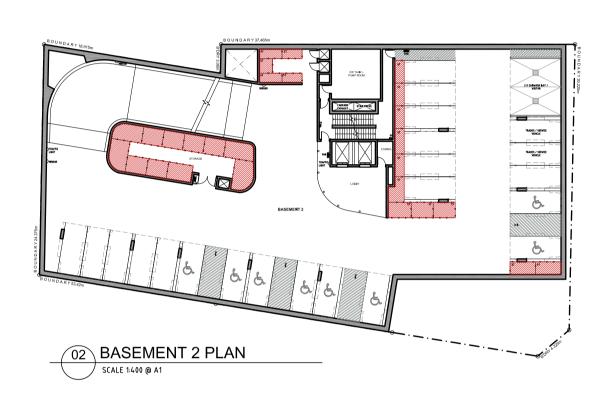
SSPP (Sydney South) Report Appendices (PPSSSH-10)

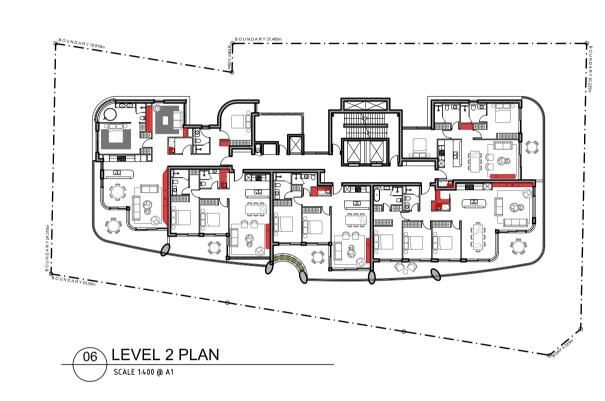
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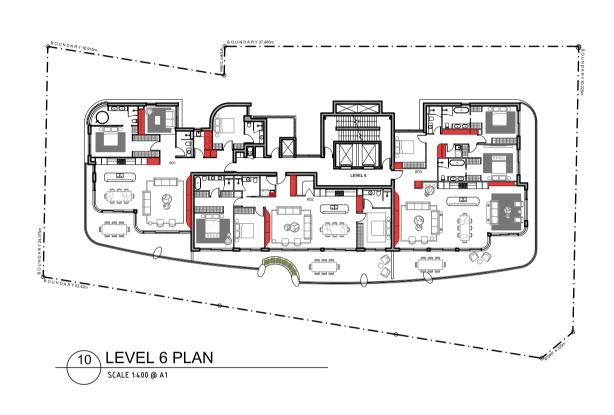


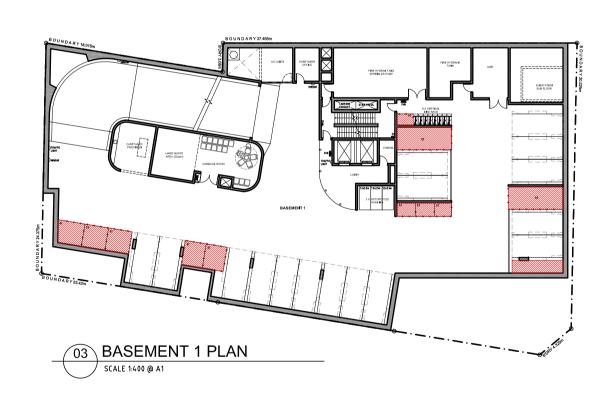


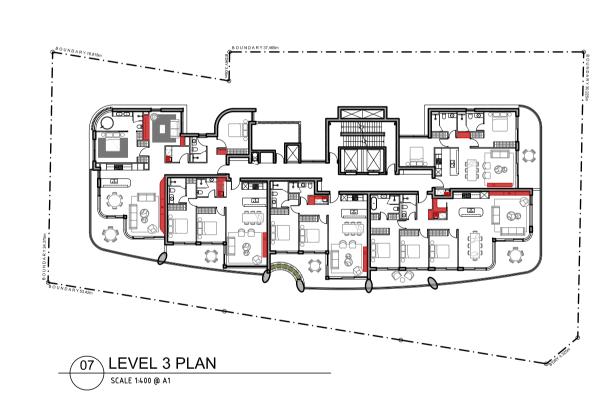


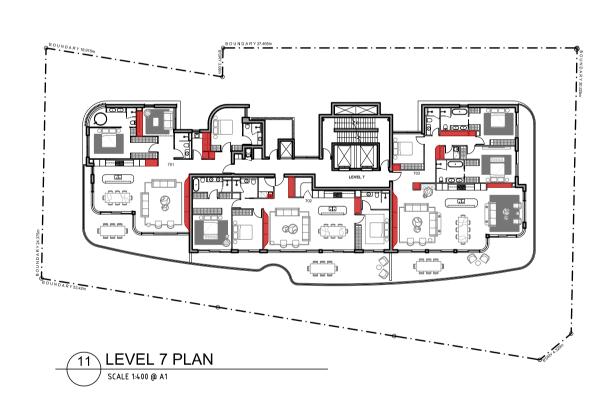


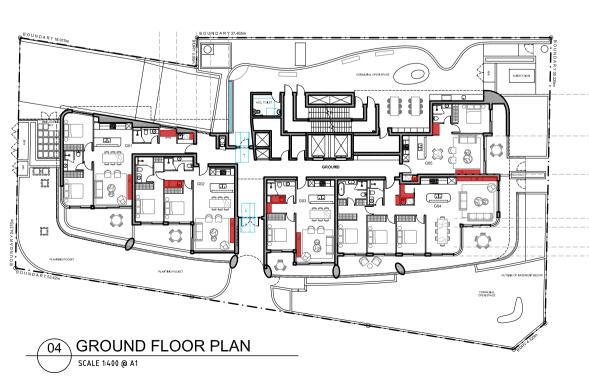


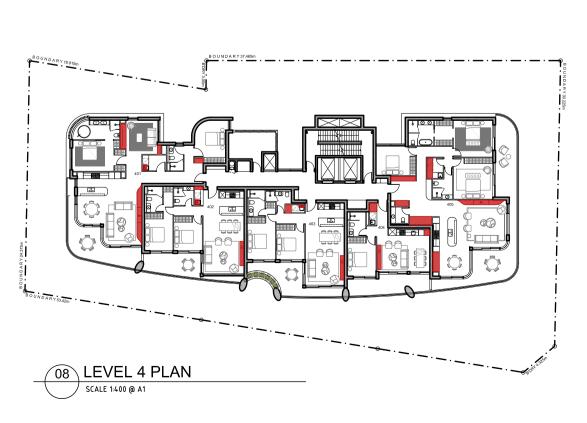


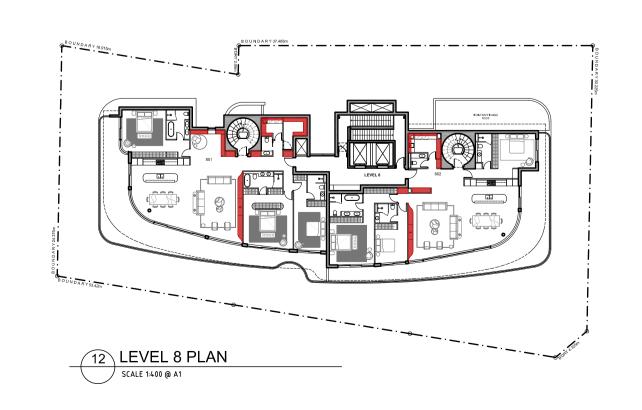












SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

CLIENT: OZONE CRONULLA PTY LTD

SSPP (Sydney South) Report Appendices (PPSSSH-10)

DESCRIPTION DESCRIPTION DATE ISSUE DATE 11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION

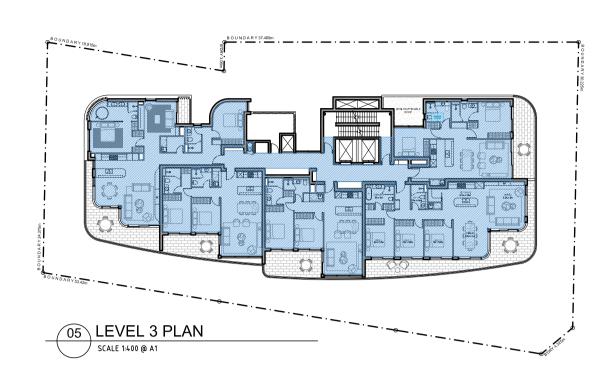
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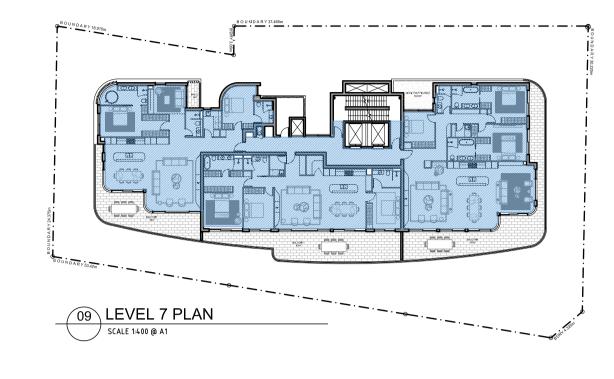
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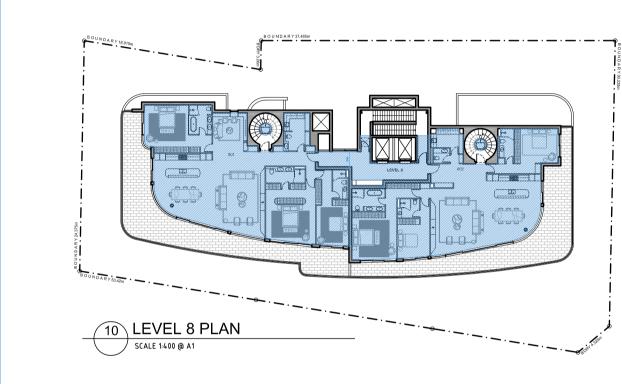
ISSUE: A

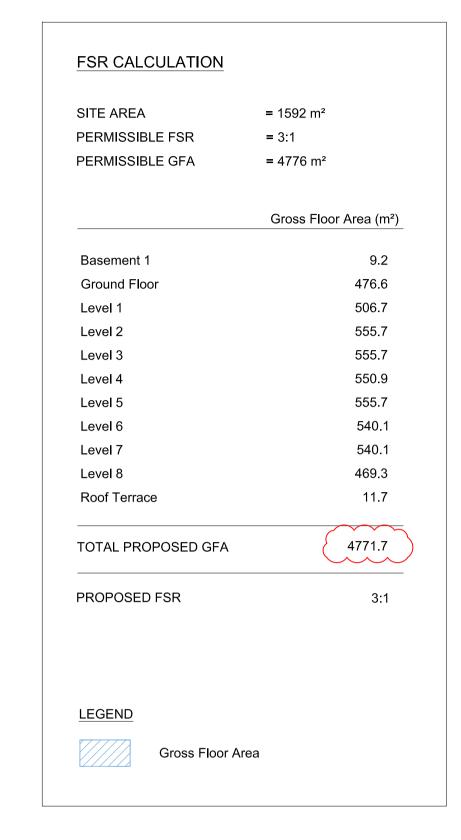
JOB No. 1922 P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

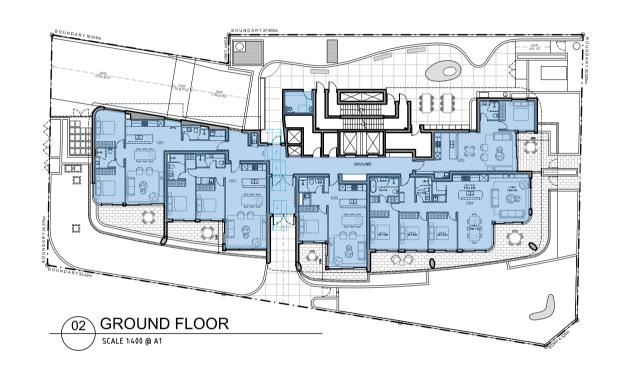
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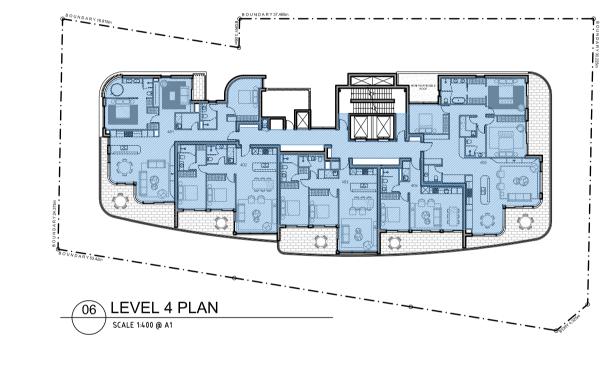


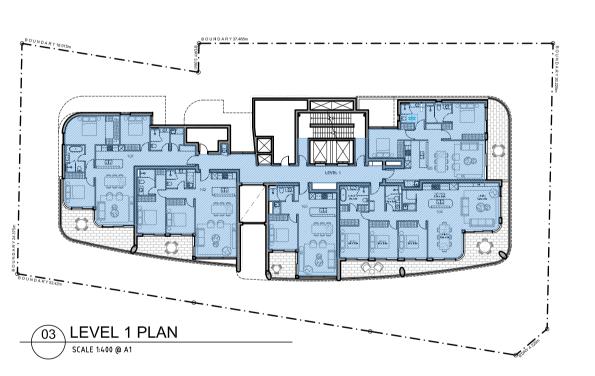




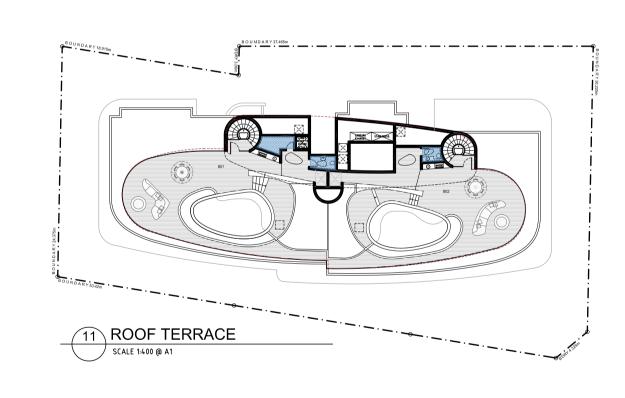


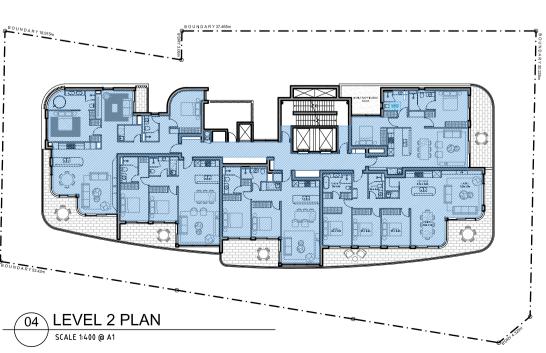


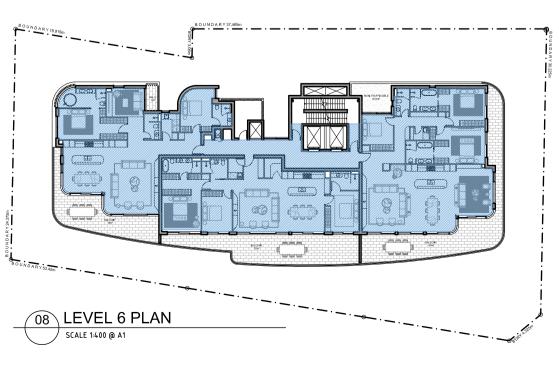












SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			
В	04.10.2019	REVISED ISSUE FOR SECTION 4.56 SUBMISSION			
С	16.03.2020	ISSUE FOR REVIEW			
D	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			

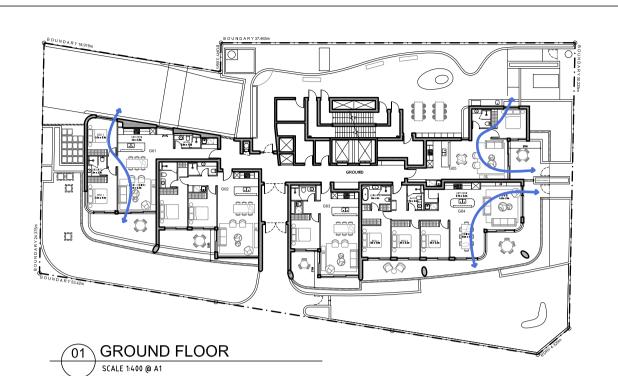
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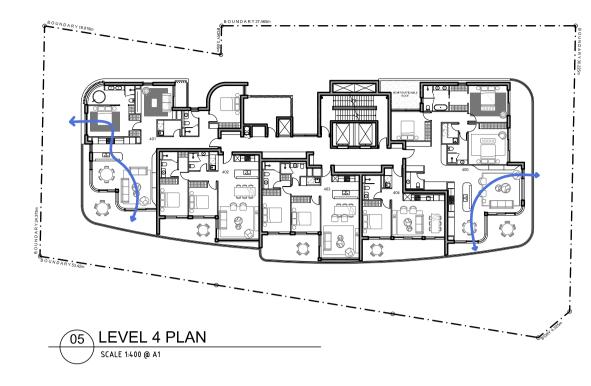
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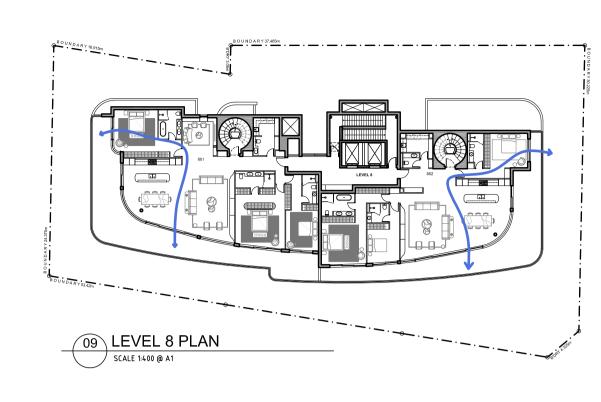
ISSUE: D

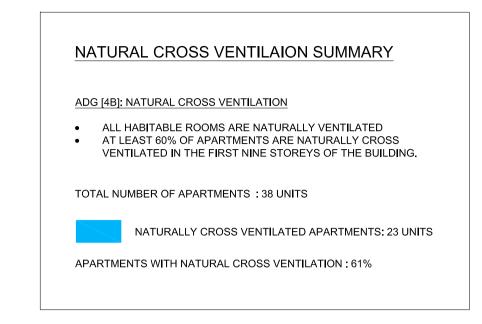
Level 2, 52 Albion Street, Surry Hills NSW 2010 JOB No. 1922 P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

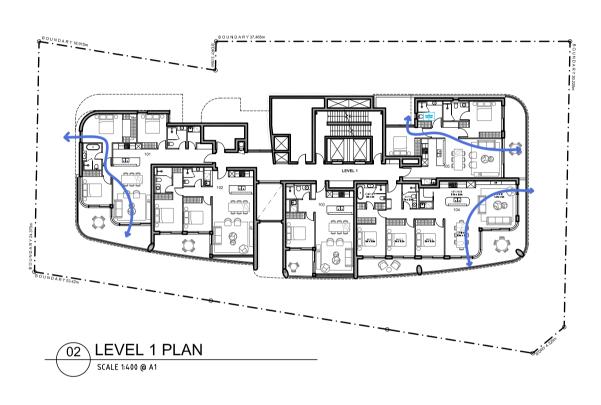
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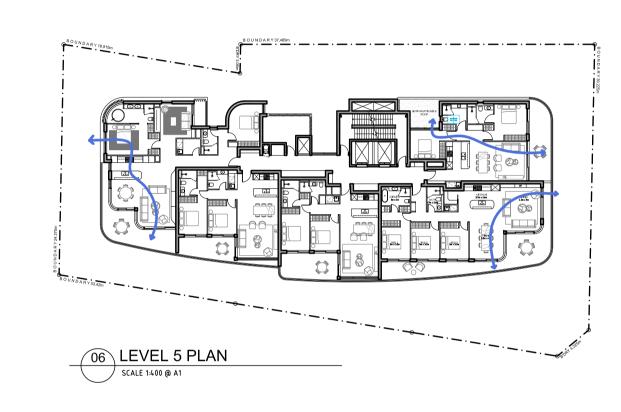


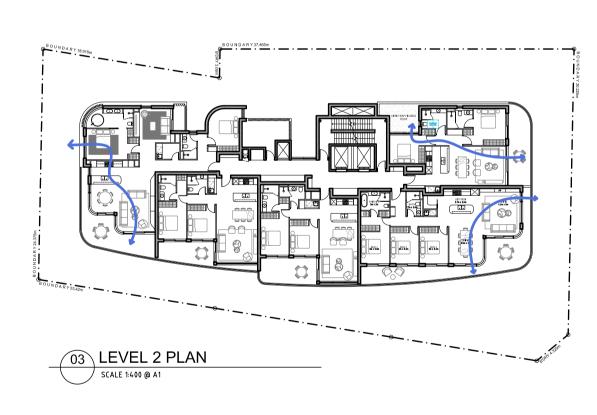


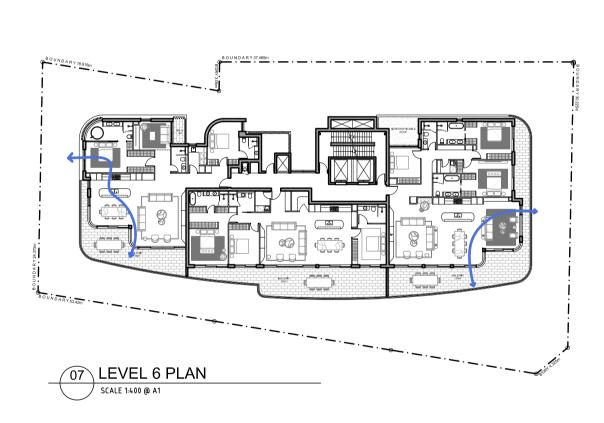


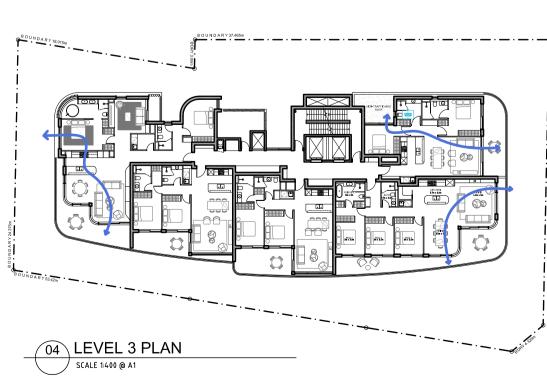


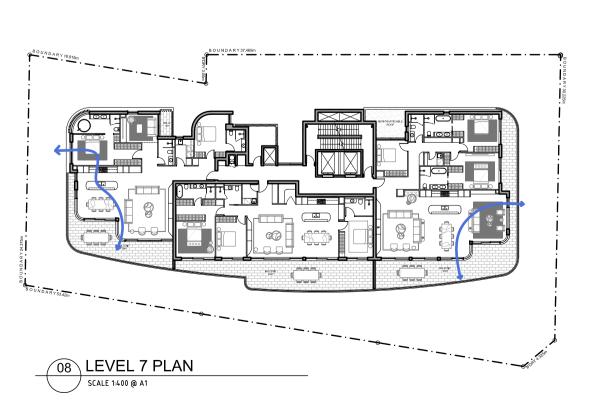












SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION	ı
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION				ı
В	16.03.2020	ISSUE FOR REVIEW				ı
C	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION				ı
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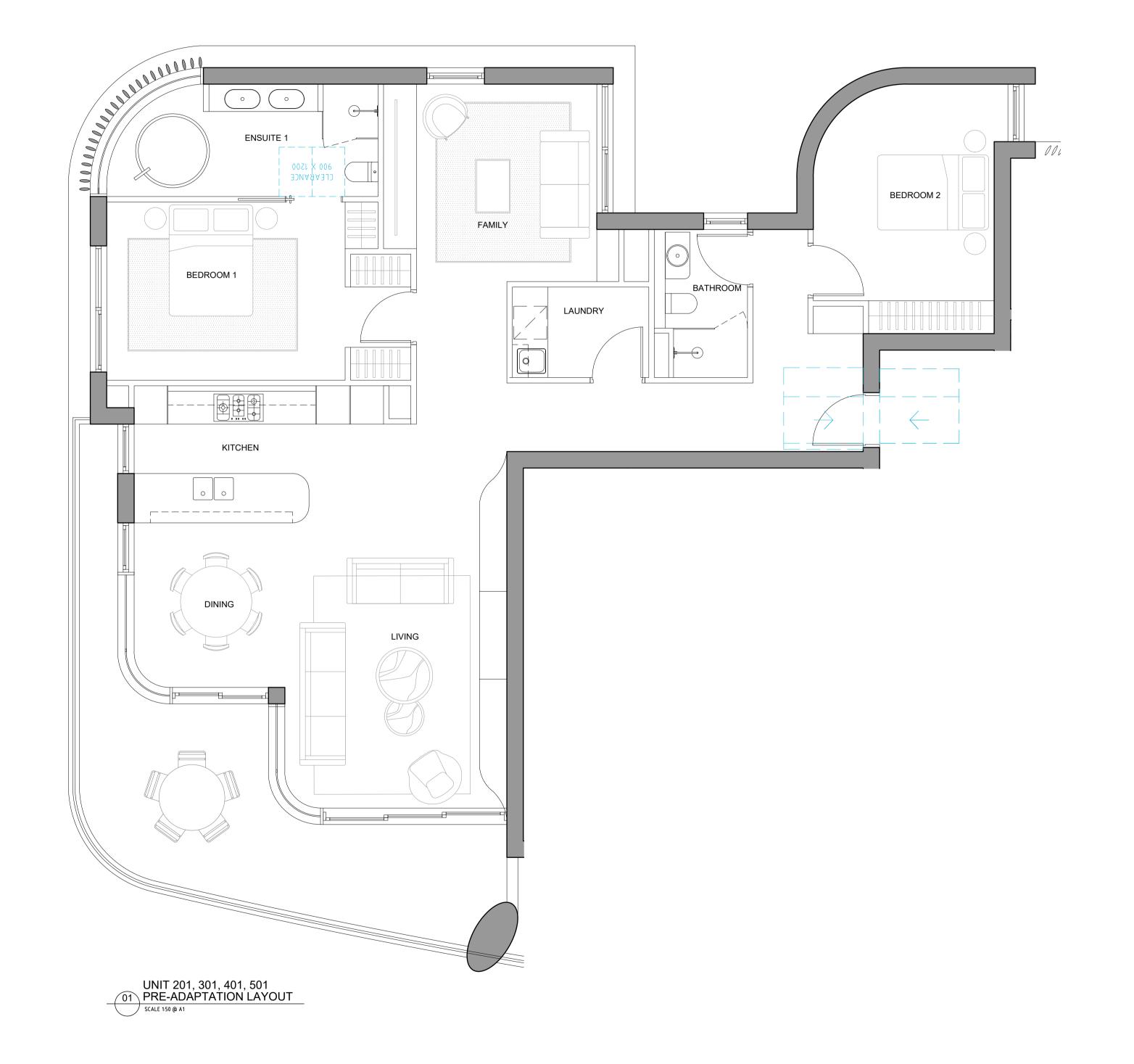
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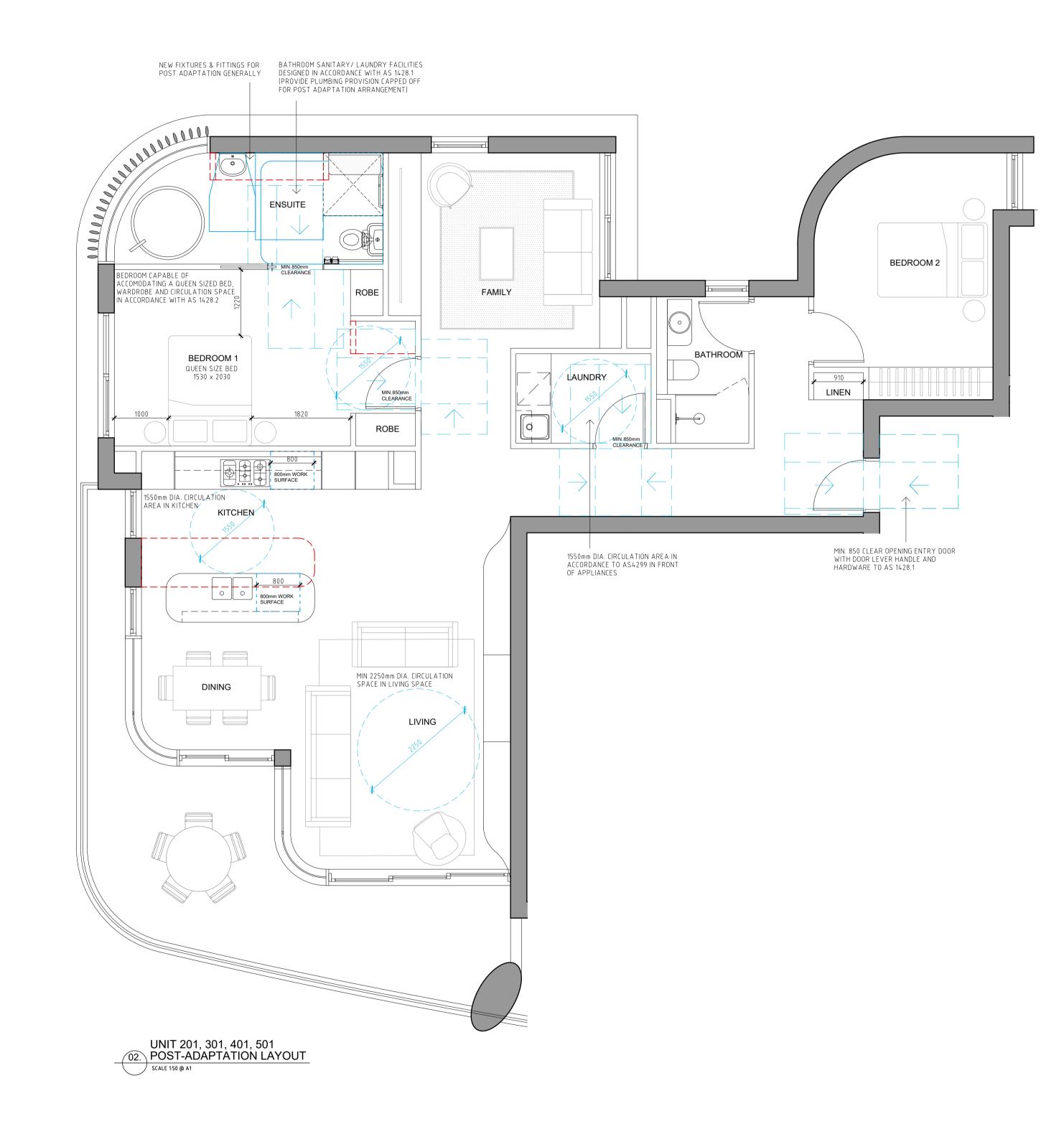
ISSUE: C

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SSPP (Sydney South) Report Appendices (PPSSSH-10) Page 84 of 90

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SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION			

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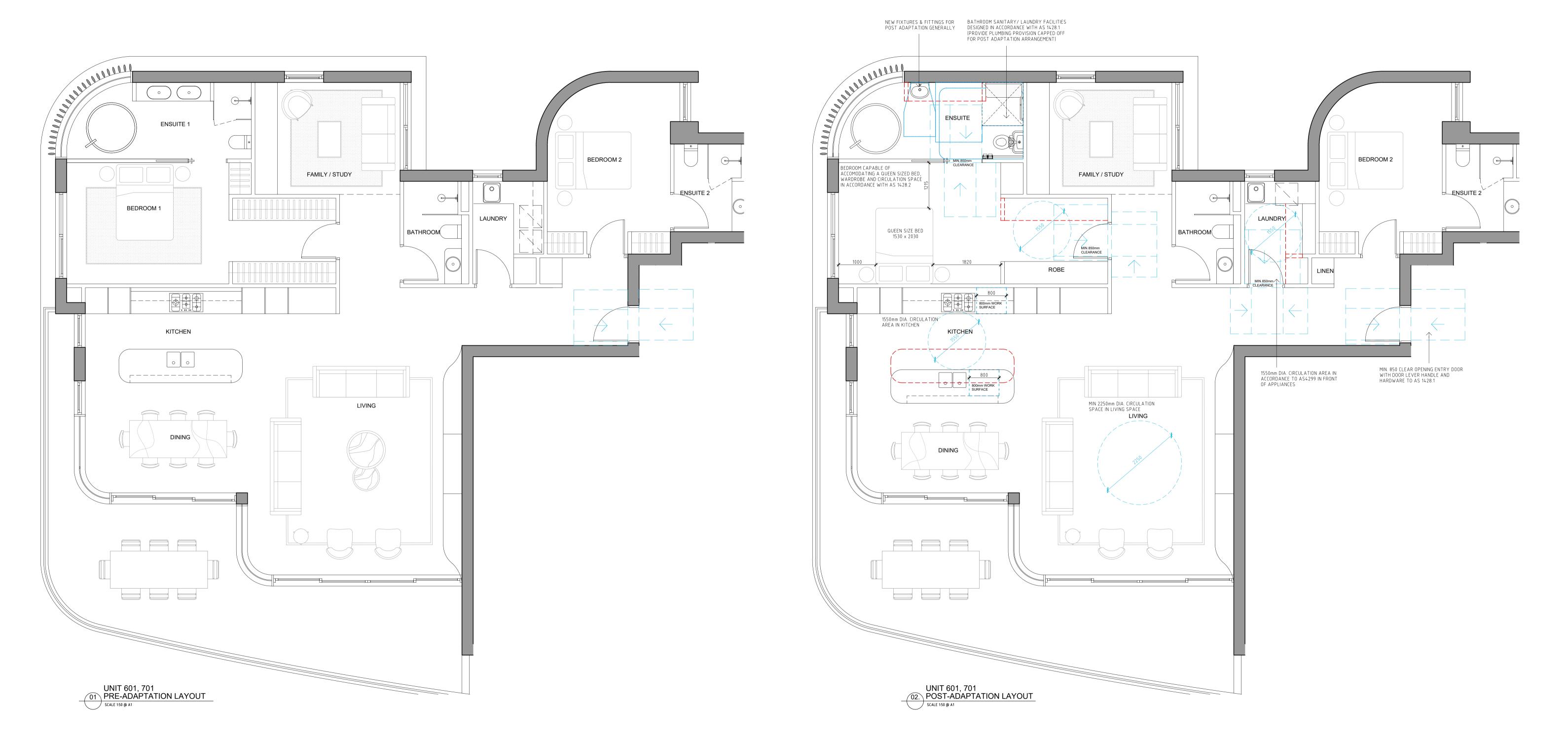
ISSUE: A

ADAPTABLE UNIT

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SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING	Α	11.09.2019	ISSUE FOR SECTION 4.56 SUE
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SP 545, SP 9336, SP 48254

CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION	
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION				

S4.56_DA601 ADAPTABLE UNIT

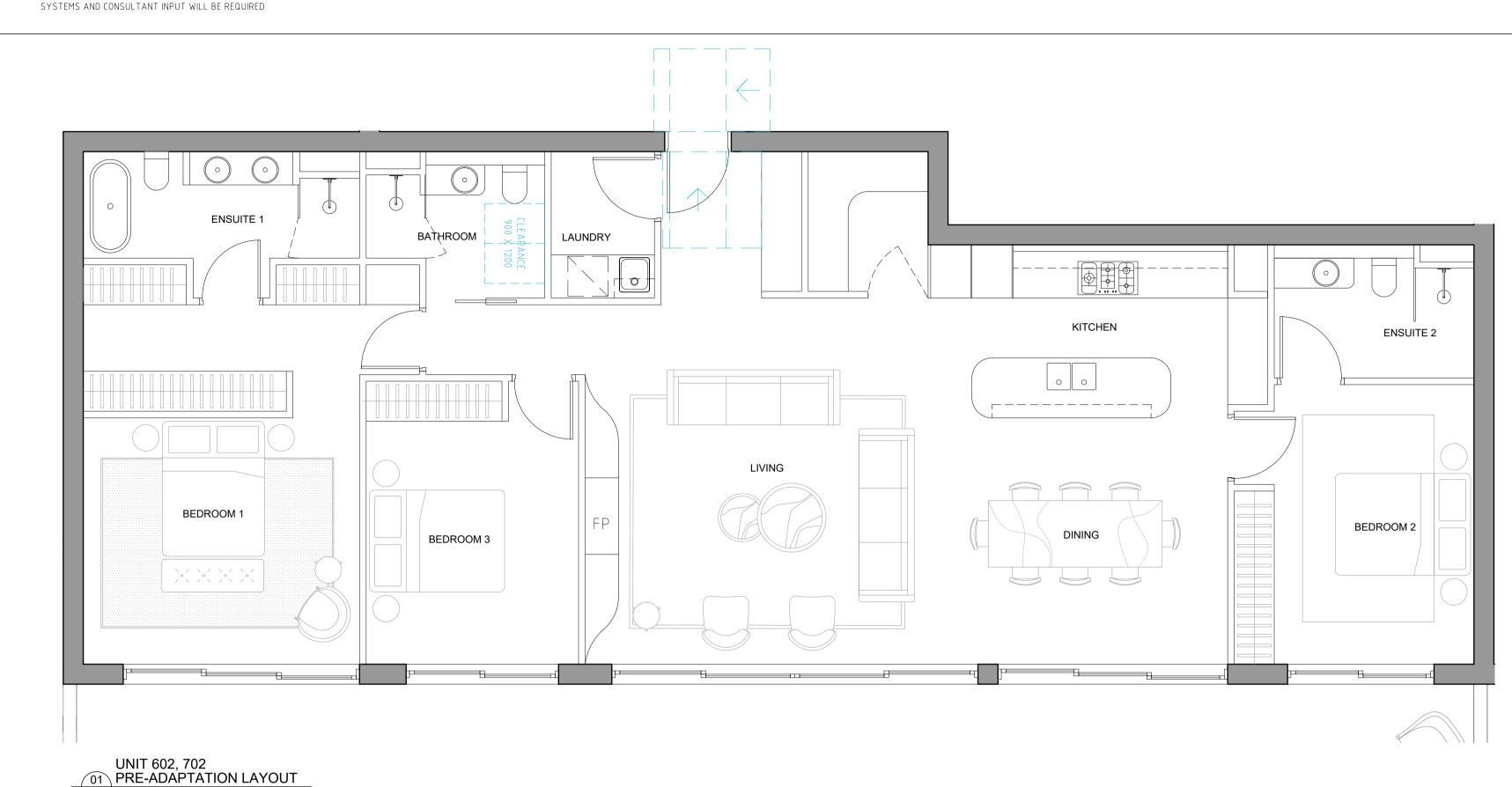
ISSUE: A

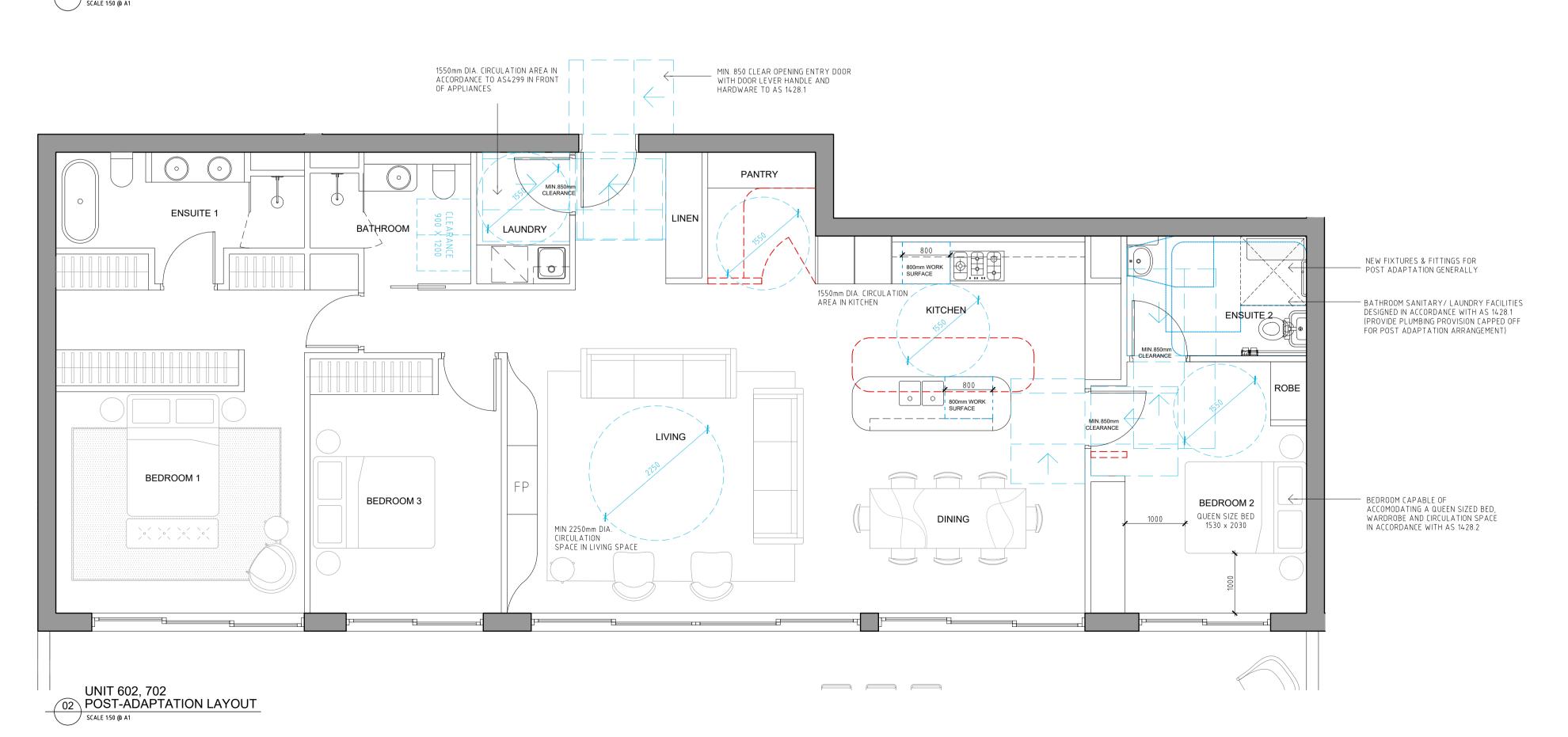
JOB No. 1922 Level 2, 52 Albion Street, Surry Hills NSW 2010 P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au

SSPP (Sydney South) Report Appendices (PPSSSH-10) Page 86 of 90

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SA.56_DA602

PROJECT:
PROPOSED RESIDENTIAL FLAT BUILDING

A 11.09.2019 ISSUE FOR SECTION 4.56 SUBMISSION

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

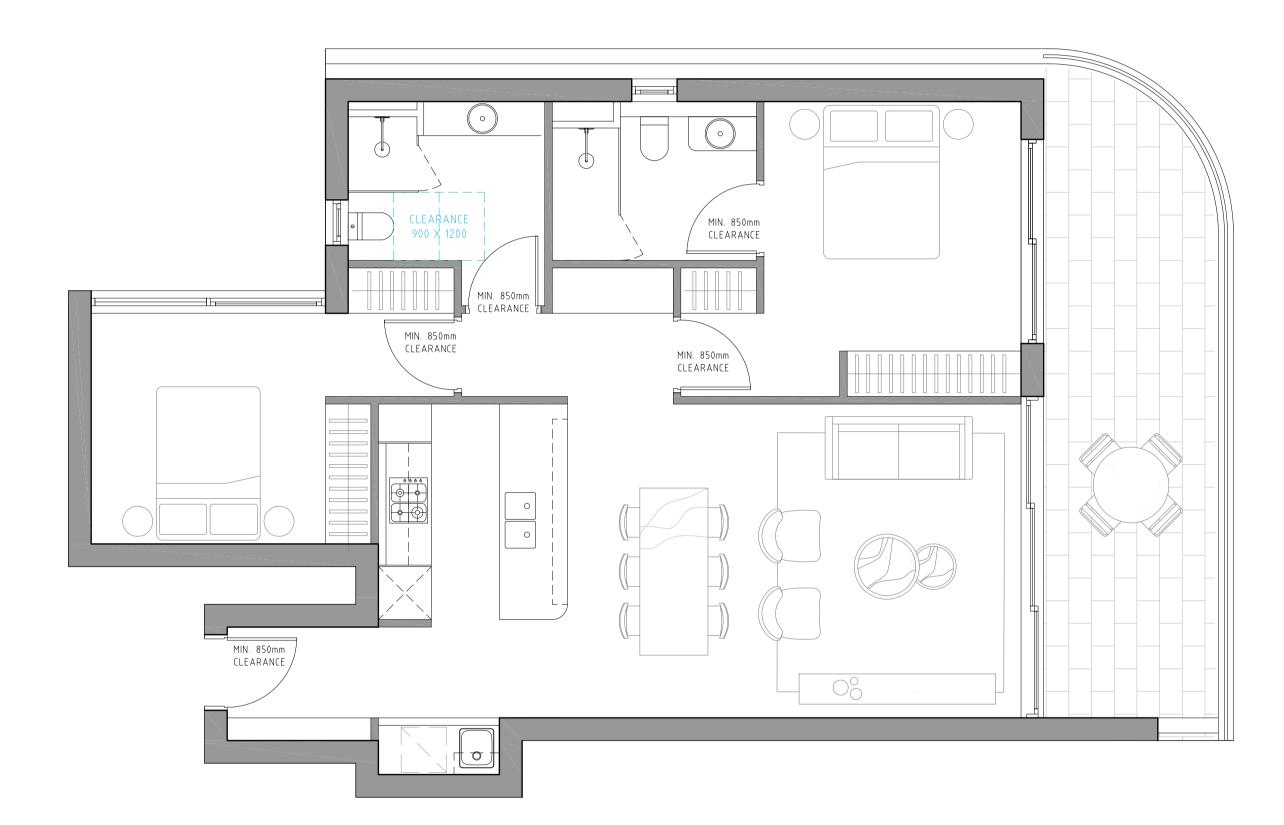
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01 UNIT 105, 205, 305, 505 - LIVABLE UNIT LAYOUT

SECTION 4.56 DRAWINGS

CLIENT: OZONE CRONULLA PTY LTD

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	16.03.2020	ISSUE FOR REVIEW			
В	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			

S4.56_DA603

LIVABLE UNIT

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SSPP (Sydney South) Report Appendices (PPSSSH-10) Page 88 of 90

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- WHEN PROPRIETARY PRODUCTS ARE REFERRED TO, INSTALL IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS AREA SCHEDULES SUPPLIED ARE APPROXIMATE ONLY- FUTURE ALLOWANCE FOR VERTICAL SERVICE DUCTS, STRUCTURAL WALL SYSTEMS AND CONSULTANT INPUT WILL BE REQUIRED





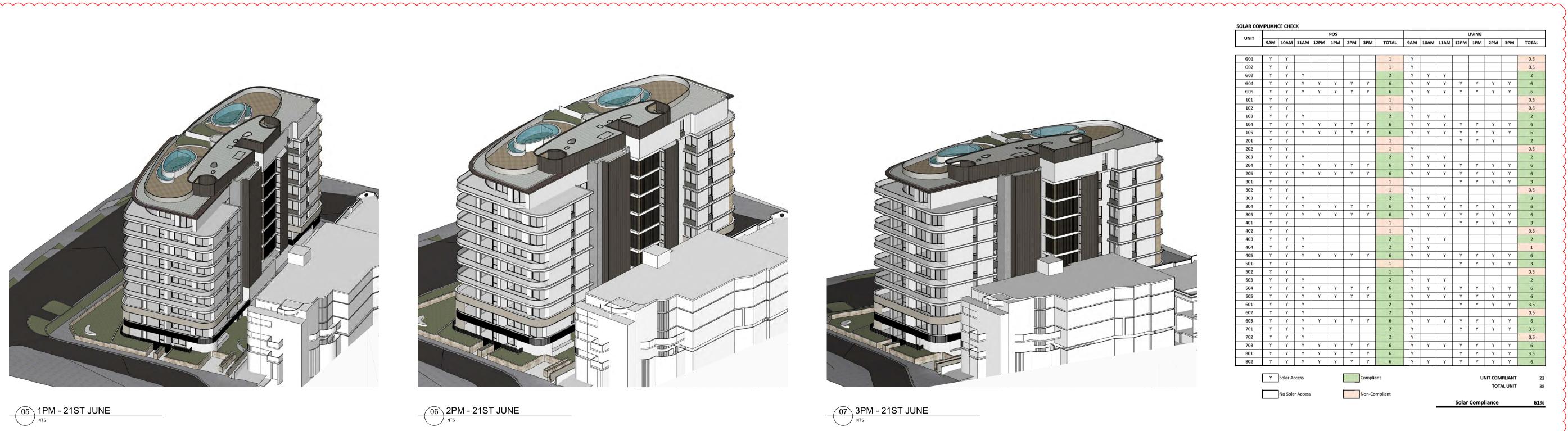












SECTION 4.56 DRAWINGS

01 9AM - 21ST JUNE

PROPOSED RESIDENTIAL FLAT BUILDING

CLIENT: OZONE CRONULLA PTY LTD

5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION	
Α	11.09.2019	ISSUE FOR SECTION 4.56 SUBMISSION				
В	16.03.2020	ISSUE FOR REVIEW				
С	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION				
D	19.03.2020	REVISED PLANS FOR S4.56 SUBMISSION				
E	27.03.2020	REVISED PLANS FOR S4.56 SUBMISSION				

S4.56_DA610

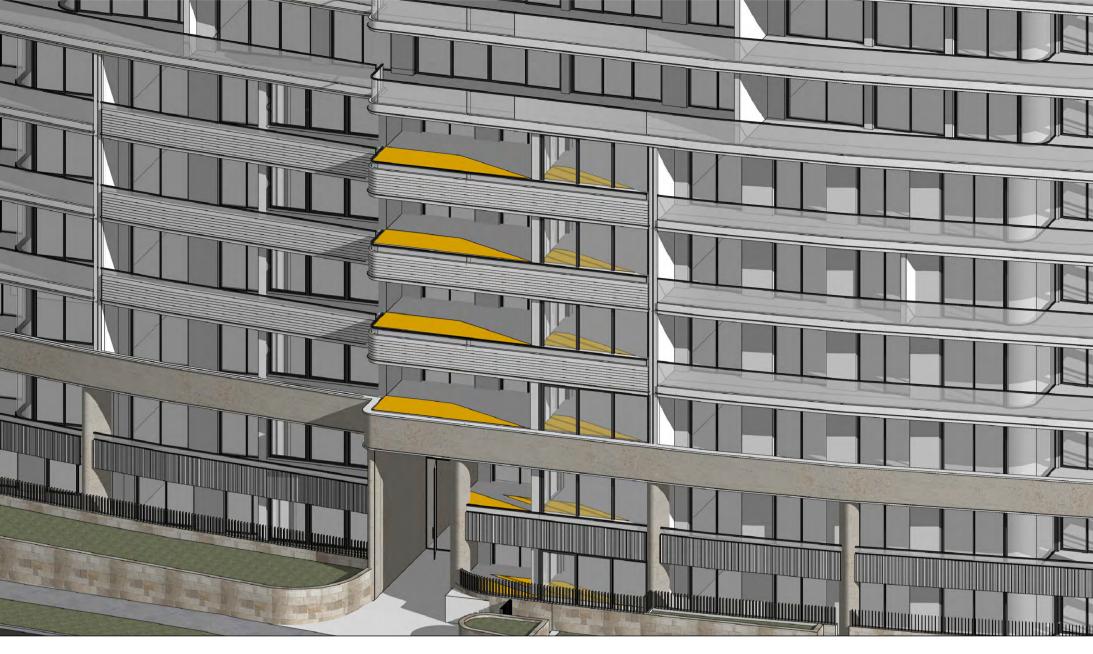
SOLAR ACCESS DIAGRAM

ISSUE: E Level 2, 52 Albion Street, Surry Hills NSW 2010 P - (02) 9698 8140 E - info@pbdarchitects.com.au W - www.pbdarchitects.com.au JOB No. 1922

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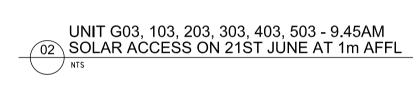
- ALL WORK TO COMPLY WITH BUILDING CODE OF AUSTRALIA, REQUIREMENTS OF RELEVANT STATUTORY AUTHORITIES/LOCAL
- GOVERNMENT & RELEVANT AUSTRALIAN BUILDING STANDARDS CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK- SHOULD A DISCREPANCY BE IDENTIFIED PLEASE CONFIRM WITH ARCHITECT PRIOR TO PROCEEDING (DO NOT SCALE FROM DRAWINGS)
- COPYRIGHT OF DESIGN SHOWN HEREON IS RETAINED BY THIS OFFICE AND AUTHORITY IS REQUIRED FOR ANY REPRODUCTION
- DRAWINGS FOR THE PURPOSES OF DA ONLY- FURTHER CONSULTANT/ AUTHORITY COORDINATION WILL BE REQUIRED AT CC STAGE WHICH MAY IMPACT ON DESIGN AND PLANNING LAYOUTS
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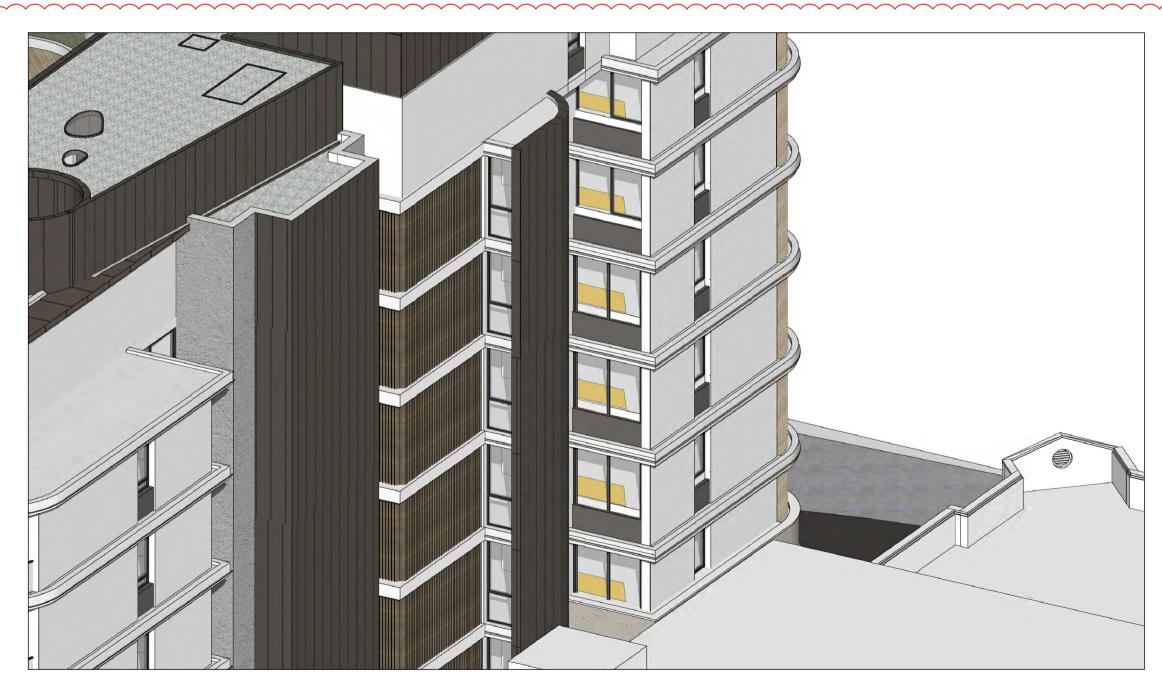


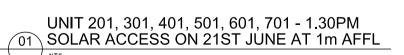


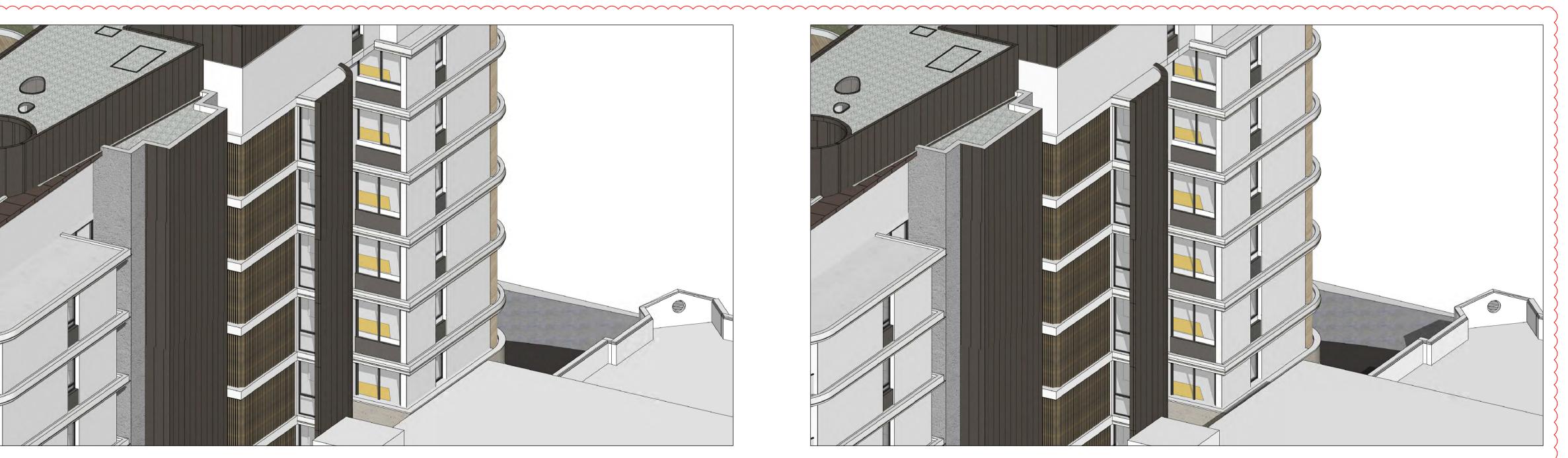
UNIT	9.30AM		9.45AM		
	POS	LIVING	POS	LIVING	
G03	3.8sqm	3.6sqm	3.4sqm	3sqm	
103	3sqm	2.9sqm	2.3sqm	2.3sqm	
203	7.4sqm	3.3sqm	6.1sqm	3sqm	
303	7.8sqm	3.4sqm	6.1sqm	2 . 8sqm	
403	7.7 sqm	3.3sqm	6.3sqm	2.7sqm	
503	7.6sqm	3.4sqm	6.5sqm	2.7sqm	

UNIT G03, 103, 203, 303, 403, 503 - 9.30AM SOLAR ACCESS ON 21ST JUNE AT 1m AFFL









UNIT 201, 301, 401, 501, 601, 701 - 1.45PM O2 SOLAR ACCESS ON 21ST JUNE AT 1m AFFL

UNIT	1.30PM	1.45PM	
	LIV	LIVING	
201	1.9sqm	1.9sqm	
301	1.9sqm	1.8sqm	
401	1.9sqm	1.9sqm	
501	1.9sqm	1.8sqm	
601	1.5sqm	1.5sqm	
701	1.6sqm	1.5sqm	



SECTION 4.56 DRAWINGS

PROPOSED RESIDENTIAL FLAT BUILDING 5, 7 & 9 OZONE STREET, CRONULLA NSW 2230 SP 545, SP 9336, SP 48254 CLIENT: OZONE CRONULLA PTY LTD

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION
Α	16.03.2020	ISSUE FOR REVIEW			
В	18.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			
С	27.03.2020	REVISED PLANS FOR S4.56 SUBMISSION			

S4.56_DA611

SOLAR ACCESS DIAGRAM

ISSUE: C JOB No. 1922

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